

# 51ST AVE. NE.

ARLINGTON, WA NON-CONDITIONED SHELL BUILDING

**ARCHITECTURAL**  
 DAB-A0.1 TITLE SHEET  
 DAB-A1.1 OVERALL SITE PLAN  
 DAB-A2.1 OVERALL FLOOR PLAN  
 DAB-A3.1 OVERALL ELEVATIONS  
 DAB-A4.1 DETAILS

**SHEET INDEX**



**VICINITY MAP**



hpa, inc.  
 600 grand ave, suite 302  
 oakland, ca  
 94610  
 tel: 949-862-2113  
 email: hpa@hparchis.com

Owner:

**ROCKEFELLER GROUP**

400 UNIVERSITY STREET  
 SUITE 300  
 SEATTLE, WA 98101

Project:

**51ST AVE. NE.**

ARLINGTON, WA

Consultants:

CIVIL BARGHAUSEN  
 STRUCTURAL -  
 MECHANICAL -  
 PLUMBING -  
 ELECTRICAL -  
 LANDSCAPE BARGHAUSEN  
 FIRE PROTECTION -  
 SOILS ENGINEER -

Title: TITLE SHEET

Project Number: 24091  
 Drawn by: M.D.  
 Date: 12/06/2024

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Sheet:

**DAB-A0.1**

**OWNER:**  
 ROCKEFELLER GROUP  
 400 UNIVERSITY STREET, SUITE 300  
 SEATTLE, WA 98101  
 PHONE: (206) 203-8792  
 CONTACT: JUSTIN KIRK

**CIVIL ENGINEER:**  
 BARGHAUSEN  
 18215 72ND AVE. SOUTH  
 KENT, WA 98032  
 PHONE: (425) 251-4222  
 CONTACT: ALEX WHITE

**LANDSCAPE:**  
 BARGHAUSEN  
 18215 72ND AVE. SOUTH  
 KENT, WA 98032  
 PHONE: (425) 251-4222  
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**ARCHITECT:**  
 HPA, INC.  
 600 GRAND AVE., STE. # 302  
 OAKLAND, CA 94610  
 PHONE: (949) 863-1770  
 CONTACT: JUN LEE

**PROJECT REPRESENTATIVES**

**OWNER / APPLICANT :**  
 ROCKEFELLER GROUP  
 400 UNIVERSITY STREET, SUITE 300  
 SEATTLE, WA 98101  
 PHONE: (206) 203-8792  
 CONTACT: JUSTIN KIRK

**APPLICANT'S REPRESENTATIVE :**  
 HPA, INC.  
 600 GRAND AVE., STE. #302  
 OAKLAND, CALIFORNIA 94610  
 PHONE: (949) 863-1770  
 CONTACT: JUN LEE

**ASSESSOR'S PARCEL NO. :**  
 PARCEL NO. ---

**ZONING :**  
 LIGHT INDUSTRIAL (LI)

**BUILDING ADDRESS :**  
 TBD

**LEGAL DESCRIPTION :**  
 SEE CIVIL DRAWINGS

**CODE ANALYSIS:**

CONCRETE TILT-UP BUILDING  
 BUILDING OCCUPANCY:  
 S-1 / B  
 WAREHOUSE / OFFICE

CONSTRUCTION TYPE:  
 III-B

**PROJECT DATA & CODE SUMMARY**

**PROJECT DATA:**

<b>SITE AREA</b>	
In s.f.	404,608 s.f.
In acres	9.29 ac
<b>BUILDING AREA</b>	
Office	10,000 s.f.
Warehouse	177,662 s.f.
<b>TOTAL</b>	<b>187,662 s.f.</b>
<b>SITE COVERAGE</b>	
Maximum	100.0%
Actual	46.4%
<b>AUTO PARKING REQUIRED</b>	
Office: 1/400 s.f.	25 stalls
Whse: 1/2,000 s.f.	89 stalls
<b>TOTAL</b>	<b>114 stalls</b>
<b>AUTO PARKING PROVIDED</b>	
Standard ( 9' x 19' including 2' overhang )	109 stalls
Accessible Standard ( 9' x 19' )	3 stalls
Accessible Van ( 9' x 19' )	4 stalls
Accessible EV ( 9' x 19' )	1 stalls
EV Standard ( 9' x 19' including 2' overhang )	stalls
EV Capable ( 9' x 19' including 2' overhang )	stalls
<b>TOTAL</b>	<b>117 stalls</b>
<b>BICYCLE RACK</b>	
Required	12
Provided	12
<b>ZONING ORDINANCE FOR CITY</b>	
Zoning Designation - Light Industrial (LI)	
<b>MAXIMUM BUILDING HEIGHT ALLOWED</b>	
Height - 50'	
<b>SETBACKS</b>	
<b>Building</b>	
Primary - 20'	
Accessory - 5'	

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STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	BARGHAUSEN
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: **OVERALL SITE PLAN**

Project Number: 24091

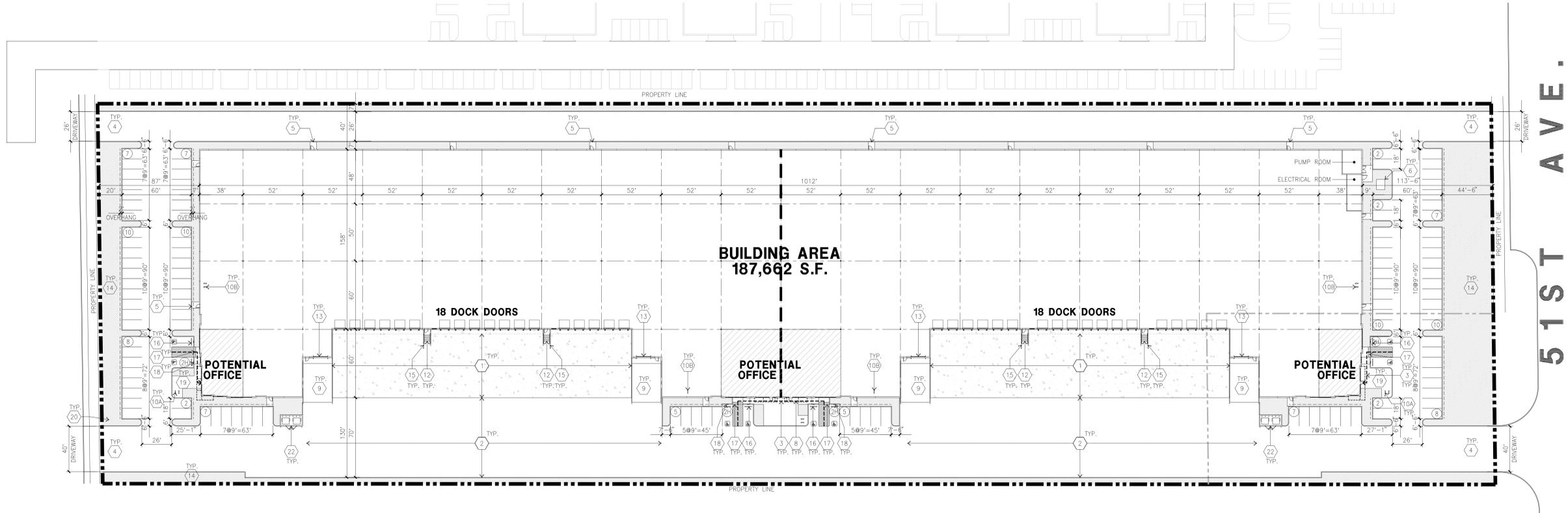
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Date: 12/06/2024

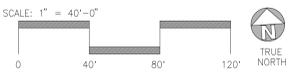
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**OVERALL SITE PLAN**  
scale: 1" = 40'-0"



**SITE PLAN KEYNOTES**

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 ASPHALT CONCRETE (AC) PAVING
- 3 ACCESSIBLE PATH OF TRAVEL
- 4 DRIVEWAY APRONS
- 5 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" : 12" MAX.
- 6 APPROXIMATE LOCATION OF TRANSFORMER.
- 7 NOT USED.
- 8 CONCRETE WALKWAY, MEDIUM BROOM FINISH. SEE "L" DRAWINGS.
- 9 CONCRETE RAMP WITH CONCRETE GUARD WALL. SEE "C" DRAWINGS.
- 10A SHORT-TERM BIKE RACK.
- 10B LONG-TERM BIKE RACK.
- 11 ELECTRIC VEHICLE CHARGER.
- 12 EXTERIOR METAL STEEL STAIR.
- 13 12" x 14" DRIVE-IN DOOR
- 14 LANDSCAPE.
- 15 CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
- 16 PRE-CAST CONC. WHEEL STOP.
- 17 TRUNCATED DOMES.
- 18 ACCESSIBLE PARKING STALL SIGN.
- 19 HARDSCAPE AT ENTRANCE. SEE "L" DRAWINGS.
- 20 ACCESSIBLE ENTRY SIGN.
- 21 PUMP ROOM.
- 22 TRASH ENCLOSURE.
- 23 ELECTRICAL ROOM.
- 24 EXTERIOR PARKING LIGHT POLE.
- 25 STORM TREATMENT. SEE "C" DRAWINGS.

**SITE PLAN GENERAL NOTES**

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY GEOTECHNICAL ENGINEER, DATE, PROJECT NUMBER #
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
5. PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH
11. U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
14. ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
16. ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE

**SITE PLAN GENERAL NOTES**

- |  |   |
|--|---|
| CONCRETE PAVING. SEE "C" DRWS. FOR THICKNESS         | ACCESSIBLE PARKING STALL (9' X 19') + 5' W/ ACCESSIBLE AISLE  |
| COMPACT PARKING STALL 8' X 15' (13' W/ 2' OVERHANG)  | ACCESSIBLE PARKING (VAN) STALL (9' X 19') + 9' W/ ACCESSIBLE AISLE  |
| STANDARD PARKING STALL 9' X 19' (17' W/ 2' OVERHANG) | PATH OF TRAVEL. MINIMUM WIDTH TO BE 4'. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%. SEE CIVIL FOR GRADING PLAN. |
| EV STALL WITH CHARGER                                | EV CAPABLE WITH CONDUIT ONLY  |
| LANDSCAPED AREA                                      |   |

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ELECTRICAL	-
LANDSCAPE	BARGHAUSEN
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: **OVERALL FLOOR PLAN**

Project Number: 24091

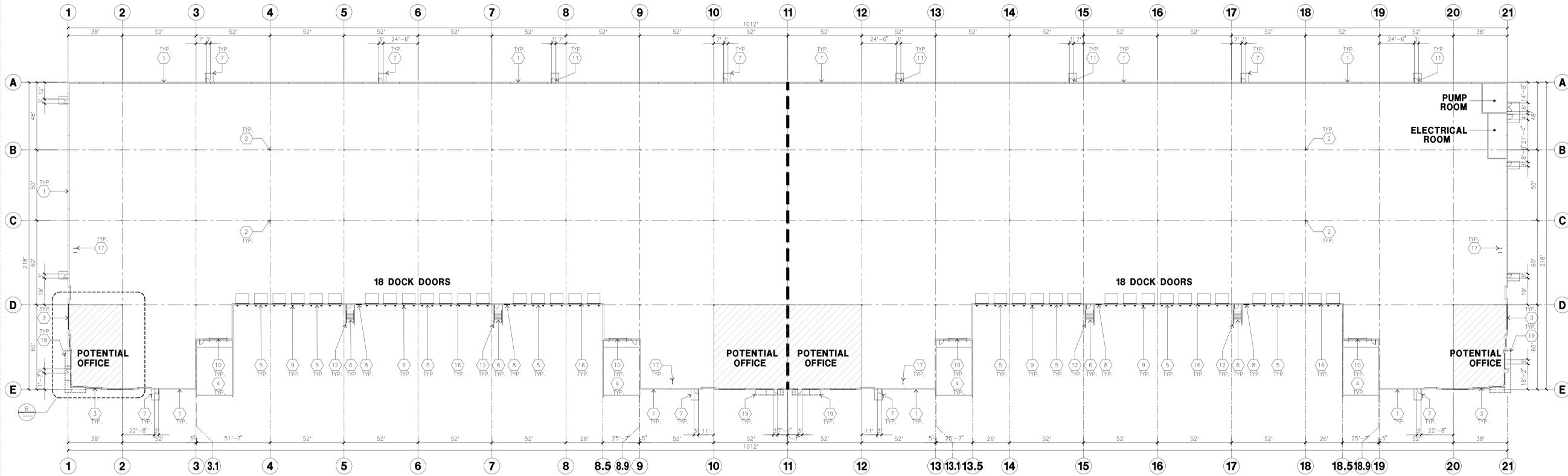
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Date: 12/06/2024

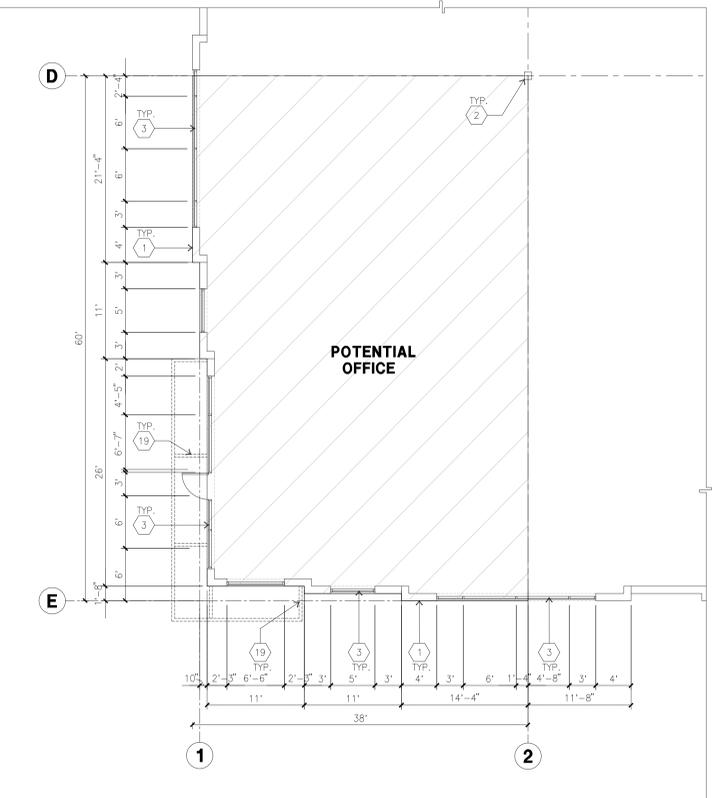
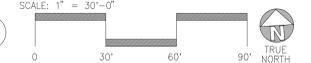
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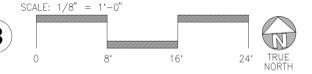
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**OVERALL FLOOR PLAN**  
scale: 1" = 30'-0"



**ENLARGED FLOOR PLAN**  
scale: 1/8" = 1'-0"



**KEYNOTES - FLOOR PLAN**

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- 5 9' X 10' DOCK DOOR, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12' MAX.
- 8 4'x8' METAL LOUVER.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 12 CONC. FILLED GUARD POST. 6" DIA. U.N.O. 48"H.
- 13 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- 14 INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
- 15 INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
- 16 Z GUARD.
- 17 INTERIOR BIKE RACK.
- 18 ELECTRICAL ROOM.
- 19 METAL CANOPY ABOVE.

**GENERAL NOTES - FLOOR PLAN**

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3 CBC.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "S" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED. SEE CIVIL.
6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
10. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AS.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
13. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
14. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
15. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
16. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES. PER CBC 11B-218.6
17. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE

**FLOOR SLAB AND POUR STRIPS REQ.**

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS
1. FLOOR COMPACTION - 95%
  2. TRENCH COMPACTION - 90%
  3. BUILDING FLOOR SLAB: SEE STRUCTURAL DRAWINGS FOR DETAILS.
  4. CONTRACTOR TO BUILD FOR CLASS IV FLOOR PER A.C.I. 302-IR-96
  5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
  6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
  7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
  8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
  9. SLAB TO BE FF50 FL35 MEASURED WITHIN 24 HOURS.
  10. NO FLY ASH IN THE CONCRETE
  11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15 MIL STEEL OR EQUAL) CONFORMING TO ASTM E 1745 UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION. CONCRETE SLAB IN OFFICE AREAS, WHERE SAND OVER VISIBILITY ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
  12. SEAL CONCRETE SLAB W/ "LAPDOLITH" SEALER
  13. SHURSEAL/LAPDOLITH OR APPROVED EQUAL FLOOR SEALER APPLIED ONE COAT AT END OF JOB IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
  14. NO PERMANENT GREASE PEN PANEL MARKS ON FLOOR SLAB.
  15. NO RED CHALK MARKS. ALL CONSTRUCTION MARKS TO BE REMOVED BEFORE SEALING.
  16. ALL FLOOR SLAB WALL OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. FEGA BOND LV 2000/BURKE EPOXY INJECTION RESIN OR EQUAL.
  17. PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENT.
  18. MM-80 AT SPEED BAY ONLY. PRICE AS ADDITIONAL ALTERNATE.

**PAINT NOTES**

- INTERIOR GYP. BD. WALLS : SINGLE COAT OF ACRYLIC PAINT FRAZEE "WHITE" ON INTERIOR WALLS.  
ALL STRUCTURAL STEEL MEMBER INC. COLUMNS, LEDGERS, JOISTS, & GIRDERS SHALL HAVE LIGHT GRAY SHOP PRIMER.  
INTERIOR STEEL COLUMNS : PAINT OSHA YELLOW 10' A.F.F. ABOVE 12' APPLY ONE COAT OF WHITE PAINT  
PIPE BOLLARDS SHALL HAVE TWO COATS OF ENAMEL "OSHA YELLOW".  
EXTERIOR CONCRETE WALLS WILL HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT.  
ALL EXTERIOR HOLLOW METAL DOORS AND DOCK DOORS TO HAVE ONE COAT OF EXTERIOR PRIMER AND TWO COATS OF ACRYLIC PAINT TO MATCH ADJACENT SURFACE COLORS. PIPE STEEL HANDRAILS SHALL HAVE TWO COATS OF LATEX PAINT.

**WALL LEGEND - ALL FLOOR PLANS**

- |  |  |
|--|--|
|  | CONCRETE TILT-UP WALL. SEE "S" DRAWINGS FOR PANEL THICKNESS.   |
|  | STOREFRONT SYSTEM. SEE DETAIL 16/AD.4  |
|  | 3 5/8" 20GA METAL STUDS, U.N.O. @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. TO EXTEND TO 14' A.F.F. SEE DETAILS 16/AD.5 AND STUD SCHEDULE FOR SIZES PER HEIGHT. |
- PROVIDE BATT INSULATION AT PUMP ROOM FOR NOISE  
• FIRE RATED CONSTRUCTION. SEE DETAIL 15/AD.5

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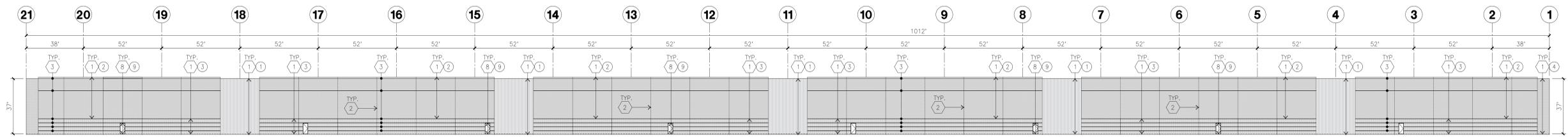
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LANDSCAPE	BARGHAUSEN
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: **ELEVATIONS**

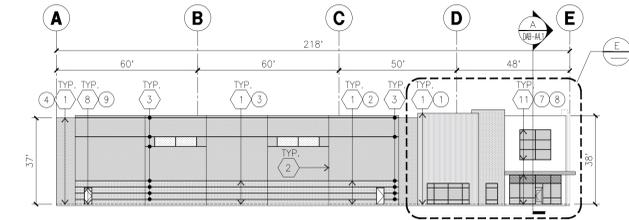
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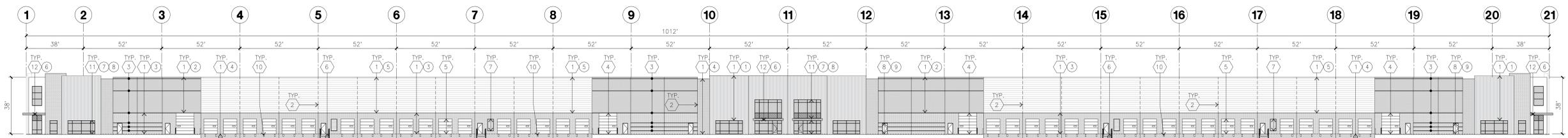
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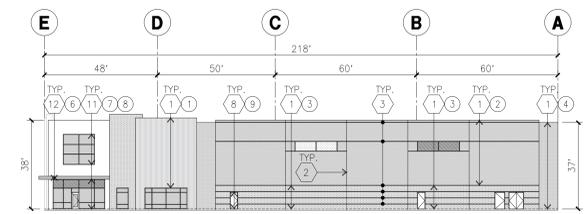
**NORTH ELEVATION**  
scale: 1" = 30'-0"



**WEST ELEVATION**  
scale: 1" = 30'-0"



**SOUTH ELEVATION**  
scale: 1" = 30'-0"



**EAST ELEVATION**  
scale: 1" = 30'-0"

**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE 'C' DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.D.
- 4 OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9A EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 9B INTERIOR ROOF DRAIN AND OVERFLOW SCUPPER.
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 12 METAL TUBE STEEL CANOPY.

**GENERAL NOTES - ELEVATIONS**

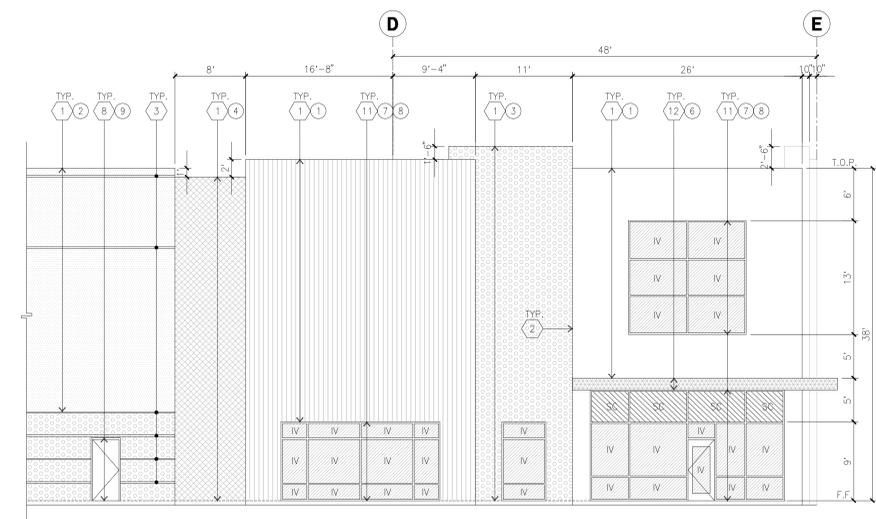
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LITELS SHALL BE DESIGNED TO RESIST WIND SPEED, EXPOSURE TO WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- L. EXTERIOR STAIRS AND RAMPS TO MATCH BUILDING COLOR.
- M. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

**ELEVATION COLOR LEGEND/SCHED.**

- |   |  |
|---|--|
| 1 | CONCRETE TILT-UP PANEL. COLOR : SW 6274 DESTINY                              |
| 2 | CONCRETE TILT-UP PANEL. COLOR : SW 6275 FASHIONABLE GRAY                     |
| 3 | CONCRETE TILT-UP PANEL. COLOR : SW 6277 SPECIAL GRAY                         |
| 4 | CONCRETE TILT-UP PANEL. COLOR : SW 6278 CLOAK GRAY                           |
| 5 | LOADING DOCK CANOPY MATERIAL : AEP BOX RIB WALL PANEL OLD TOWN GREY          |
| 6 | CANOPY MATERIAL : SHERWIN-WILLIAMS METALLICS SW 6278 CLOAK GRAY (CLEAR COAT) |
| 7 | MULLIONS COLOR : ANODIZED CLEAR  |
| 8 | GLAZING COLOR : BLUE GLAZING   |
| 9 | DOOR COLORS : MATCH ADJACENT COLOR   |

**GLAZING LEGEND**

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- |    |                          |                                     |
|----|--------------------------|-------------------------------------|
| IV | INSULATED VISION GLASS   | SPANDREL GLASS WITH CONCRETE BEHIND |
| V  | SINGLE LITE VISION GLASS |                                     |
- IV : INSULATED VISION GLASS  
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR  
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES  
U: 0.27 SHGC: 0.21 VLT: 26%  
MINIMUM W/T TO BE 0.42 PER 2015 CEC TABLE 140.3-B
- SC : SPANDREL WITH CONCRETE BEHIND  
1/4" VISTACOL PACIFICA WITH OPACI-COAT-300 WARM GRAY INSTALLED ON CONCRETE.
- V : VISION GLASS  
1/4" VISTACOL PACIFICA
- MULLIONS : ANODIZED CLEAR.



**ENLARGED WEST ELEVATION**  
scale: 1/8" = 1'-0"

Owner:

**ROCKEFELLER GROUP**

400 UNIVERSITY STREET  
SUITE 300  
SEATTLE, WA 98101

Project:

**51ST AVE. NE.**

ARLINGTON, WA

Consultants:

CIVIL	BARGHAUSEN
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	BARGHAUSEN
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: SECTIONS

Project Number: 24091  
Drawn by: M.D.  
Date: 12/06/2024  
Revision:

Sheet:

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