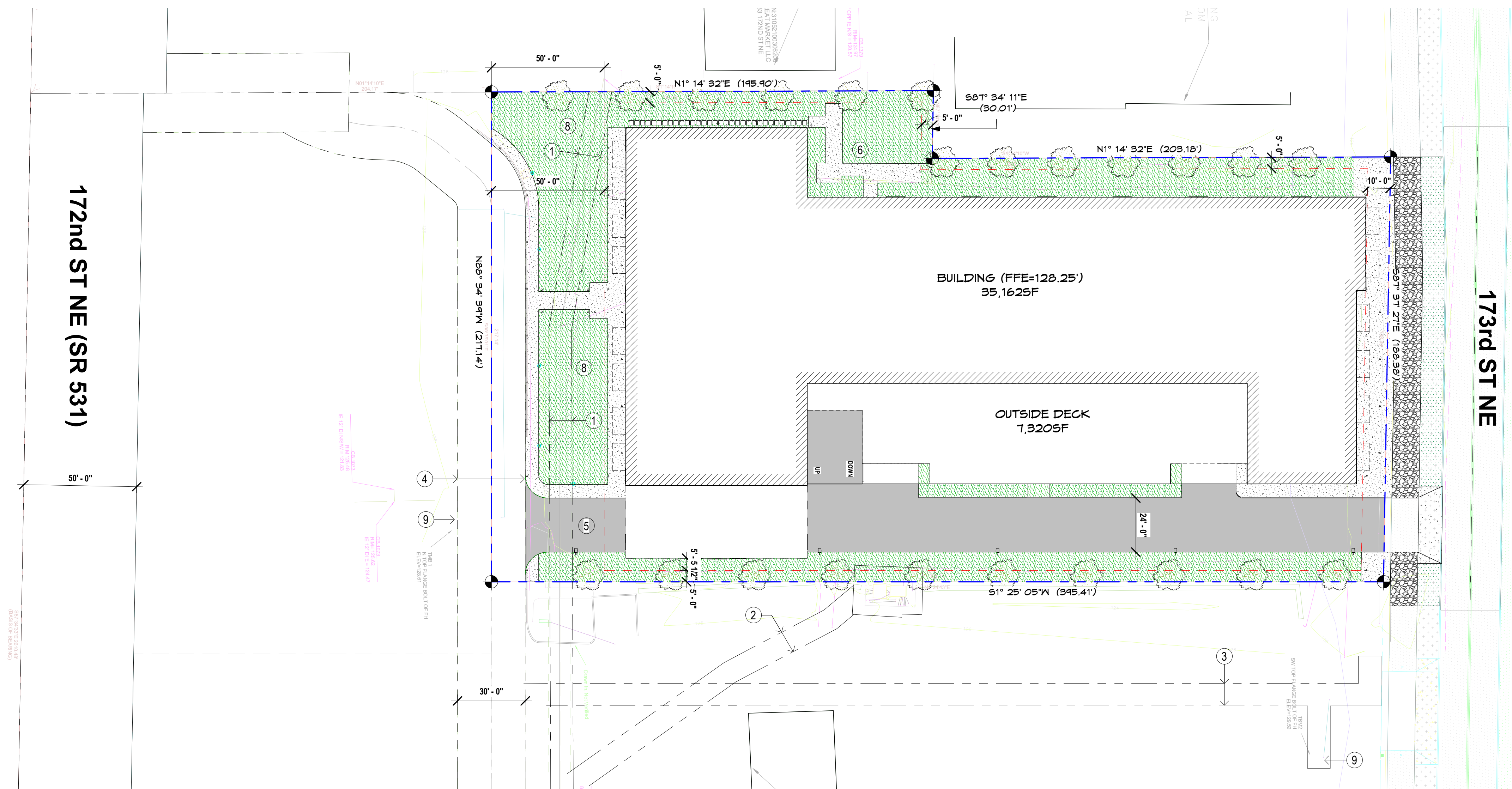
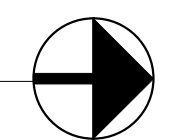




DRAWING INDEX

SHEET #	SHEET NAME
COVER SHEET	
A1.0	SITE PLAN & COVER SHEET
A1.1	3D - RENDERINGS
CIVIL	
C1.0	SEWER & WATER PLAN
C2.0	STORM DRAINAGE PLAN
C3.0	GRADING & PAVING PLAN
LANDSCAPE/ELECTRICAL	
E1.01	SITE LIGHTING PLAN
E1.02	SITE PLAN - PHOTOMETRIC
E2.00	ELECTRICAL SITE LIGHTING SCHEDULE
L1	SITE PLAN & SCHEDULE
L2	ENLARGED PLAN - PLAY AREA
L3	ENLARGED PLAN - RECREATION AREAS
L4	ENLARGED PLAN & DETAILS
L5	ENLARGED PLAN - RECREATION AREA
L6	PLANTING LEGEND & DETAILS
L7	LANDSCAPE DETAILS
L8	LANDSCAPE DETAILS
L9	PLANT IMAGES
ARCHITECTURAL	
A1.2	SITE LAYOUT - MAIN FLOOR
A2.0	PARKING LEVEL - UNDEGROUND
A3.1	S & E - ELEVATIONS
A3.2	N & W - ELEVATIONS
STRUCTURAL	
S2.0	BASEMENT LEVEL FOUNDATION PLAN
S2.1	MAIN FL. LEVEL & FOUNDATION PLAN

1 SITE PLAN
1" = 30'-0"



SITE KEYNOTES:

- 1

EXISTING 10R SEWER EASEMENT
- 2

EXISTING 10R POWER EASEMENT
- 3

EXISTING 10R WATER EASEMENT
- 4

EXISTING 30R RECIPROCAL EASEMENT
- 5

24ft WIDE ACCESS DRIVE WAY

6

USABLE OPEN SPACE (KIDS PLAY AREA) 2,000SF

7

NEW CONCRETE SIDE WALKS

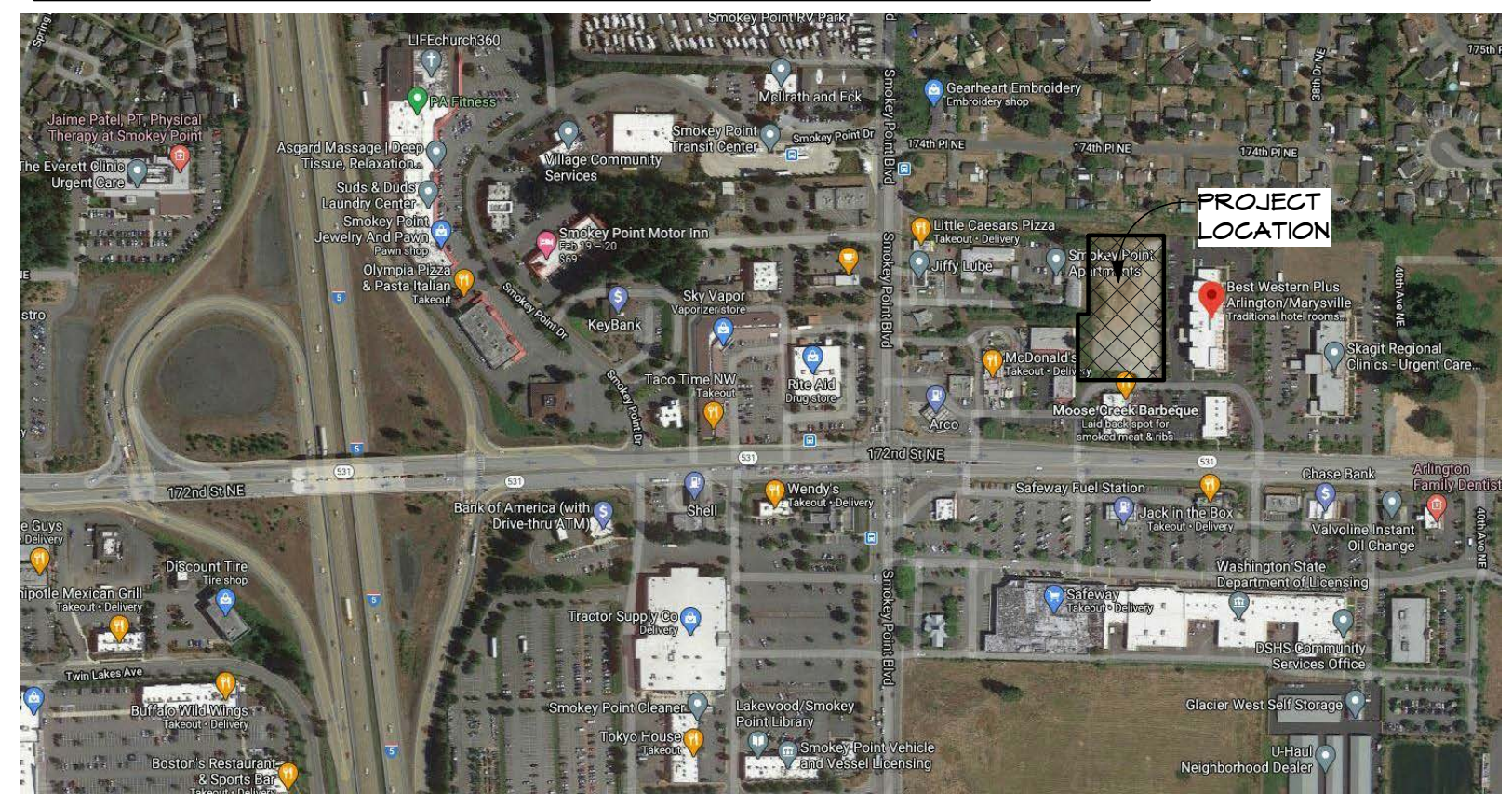
8

ONSITE USABLE OPEN SPACE W/BENCHES 2,500SF

9

EXISTING FIRE HYDRANTS

VICINITY MAP:



DENSITY CHART/INFO:	
SITE AREA	1.85 Acres / 80,399 sf
Site Area Available for Density Calc's	1.85 / 80,399 sf
Site Area x 17 Units (Density) = Minimum	1.85 Ac x 17 = 31.5 Units
Total Units Proposed	108 Units = (58 du/ac)

SITE PLAN LEGEND

	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE
	ZONING OUTLINE
	BUILDING OUTLINE
	PROPERTY CORNER
	FENCE @ PROPERTY-LINE
	WATER LINE
	GAS LINE
	CONCRETE PAVING/SIDEWALK
	ROAD/PARKING PAVING
	LANDSCAPED AREA

DEFERRED:

THE FOLLOWING DRAWINGS WILL BE SUBMITTED LATER ON DURING EITHER SITE/CIVIL PLAN PERMIT OR FINAL BUILDING PERMIT.

- IRRIGATION PLANS

PROJECT TEAM:

OWNER
CASCADE APARTMENTS LLC
2224 KAMBER RD. BELLEVUE, WA
RAJBIR SANDHU (425.829.3649)

ARCHITECT
ImarArch SOLUTIONS
16520 LARCH WAY RJ-3, LYNNWOOD, WA
SIMON SIMON (206.552.0782)

CIVIL
HARMSEN LLC
125 EAST MAIN ST. SUITE 104, MONROE, WA
DAVID HARMSEN (360.794.7811)

LANDSCAPE ARCHITECT
ROOT OF DESIGN
2020 MALTBY RD. STE #7 PBM 370, BOTHELL, WA
DEVIN PETERSON (206.491.9545)

ELECTRICAL
RENSCH ENGINEERING
111 AVE. C, STE 104, SNOHOMISH, WA
CHRIS RENSCH (360.863.6671)

STRUCTURAL
PCS STRUCTURAL SOLUTIONS
1011 WESTERN AVE, #810, SEATTLE, WA
STEVE FARVOUR (206.292.5076)

GEOTECHNICAL
GEO GROUP NW
13705 BEL-RED ROAD, BELLEVUE, WA
BILL CHANG (425.649.8157)

MECHANICAL
HV ENGINEERING
6912 220TH ST SW, MOUNTLAKE TERRACE, WA
BRIAN ROETIGSCENDR (206.706.9669)

PROJECT DESCRIPTION:
FOUR STORY MIXED-USE BUILDING WITH ONE LEVEL OF UNDERGROUND PARKING, SURFACE PARKING AND RETAIL/COMMERCIAL SPACE ON THE MAIN FLOOR WITH THREE FLOORS OF RESIDENTIAL ABOVE.

JURISDICTION: CITY OF ARLINGTON
ZONING: HC - MIXED USE OVERLAY
PLACE TYPE: URBAN CENTER
TRANSECT: TSN-LV (TS Neighborhood Large Vol.)
PARCEL #: 31052100307900
SITE AREA: (1.85 Acres) = 80,399 sf
CODES: 2018 (IBC, UPC, IFC, IMC) & 2018 WSEC
AMC-Mixed Use Development Regulations

PROPOSED USE: MIXED-USE (1.340)
OGC CLASS: B (Commercial) & R2 (Multifamily)
TYPE OF CONST: II-B & VA
SPRINKLERED: YES (NFPA-13)
BLDG. TYPE: MID-RISE
BLDG. HEIGHT: Allowed 50ft
MAX. COVERAGE: 100% Allowed
BLDG. FOOTPRINT: 41,539 SF
WATER & SEWER: CITY OF MARYSVILLE
ELECTRICITY: SNOHOMISH PUD

SPECIAL DISTRICTS:
Airport Protection Avigation Easement: AFN 201912105002 located in Sub-district B of the Arlington Airport.

SET BACKS:(AMC 20.110.014(C)4)
FRONT = 5ft Min (15ft Max)
SIDE = 5ft Min (9ft Max) Main Bldg.
REAR = 5ft Min. Main Bldg.

BLDG AREA:
PARKING:
P1 - Level = 29,288
1st Floor = 21,530
Total Area = 50,818sf
CONDITIONED:
1st Floor = 18,439 (Commercial)
2nd Floor = 35,153 (Residential)
3rd Floor = 35,184 (Residential)
4th Floor = 35,184 (Residential)
Total = 123,960sf

UNIT COUNT/TYPES:
Studio = 43 Units
1 Bed Room = 50 Units
2 Bed Room = 15 units
TOTAL = 108 Units

LEGAL DESCRIPTION:
Section 21 Township 31 Range 05 Quarter SW LOT 2 OF CITY OF ARL 9P FILE NO PLN NO 379 REC UND AFN 201912105002 BEING PTN OF SW1/4 SW1/4 SD SEC (VERT./HORIZ. DATUM = NAVD83 & NAV83)

PROJECT DATA:

IMPERVIOUS CALCULATIONS:
SITE AREA = 80,399sf
BLDG. FOOTPRINT = 41,539sf
PAVED AREA = 10,804 SF
SIDEWALKS = 6,485 SF
TOTAL IMPERVIOUS = 58,828 SF (74%)

PARKING CALCULATIONS: AMC 20.110.014(G)
Residential = No Parking Required
Retail/Services = < 3,500sf (No Parking Required)
= > 3,500sf (1 per 1000sf Min.)

PARKING Stalls REQD:
RETAIL/COMMERCIAL = 18,439sf/1000 = 18
RESIDENTIAL = 0
Total = 18 Stalls
Total Provided=(76 + 51) = 127 Stalls
- 20% of Stalls can be Compact (8' x 15') Allowed
- Standard Stall size (8.5' x 10') Table 20.110-8

OPEN/RECREATION SPACE: (AMC 20.110.014(H))
a) 65sf per person (1 BedRm = 1.4 persons)
(2 BedRm = 2.2 persons)
(3 BedRm = 3.2 persons)
Studio/1-BedRm. (93 x 1.4) = 130(x65sf) = 8,450sf
2-BedRm. (15 x 2.2) = 33(x65sf) = 2,145sf
Total Open Space Req'd = 10,595sf
Total Open/Recreation Space Provided = 11,200sf
b) Maximum of 20,00sf of onsite open space
c) 5% of developed area must remain as usable open space (80,399 x 5%) = 4,020sf Required
= 5,500sf Provided

BICYCLE REQUIREMENTS: AMC 20.110.014(G)
a) Residential = 1 per 4 units(Bedrooms)
b) Retail/Comm. = 4 stalls or 20% of Red Off-Street Parking
Calculations: 12 Stalls Required
12 x 20% = 2.5 Stalls Required
30 = Stalls Provided



**S.WEST - REAR
3D-PERSPECTIVE**



**N.EAST - FRONT
3D-PERSPECTIVE**



**N.EAST - REAR
3D-PERSPECTIVE**



**S.WEST - FRONT
3D-PERSPECTIVE**

IMARCH
SOLUTIONS

16520 Larch Way, Lynnwood, WA
Tel: (206) 552 - 0782
Simon@imararchsolutions.com

CUP/DESIGN REVIEW
09/19/2022

1903

MARJYN J. GARBERT
STATE OF WASHINGTON

NUMBER	REVISION SCHEDULE	
	DESCRIPTION	DATE

CLIENT: CASCADE APARTMENTS LLC

CASCADE MIXED USE

ARLINGTON, WA

3D - RENDERINGS

PROJECT No: 2021.03
PREPARED By: SS
DRAWING No:

A1.1

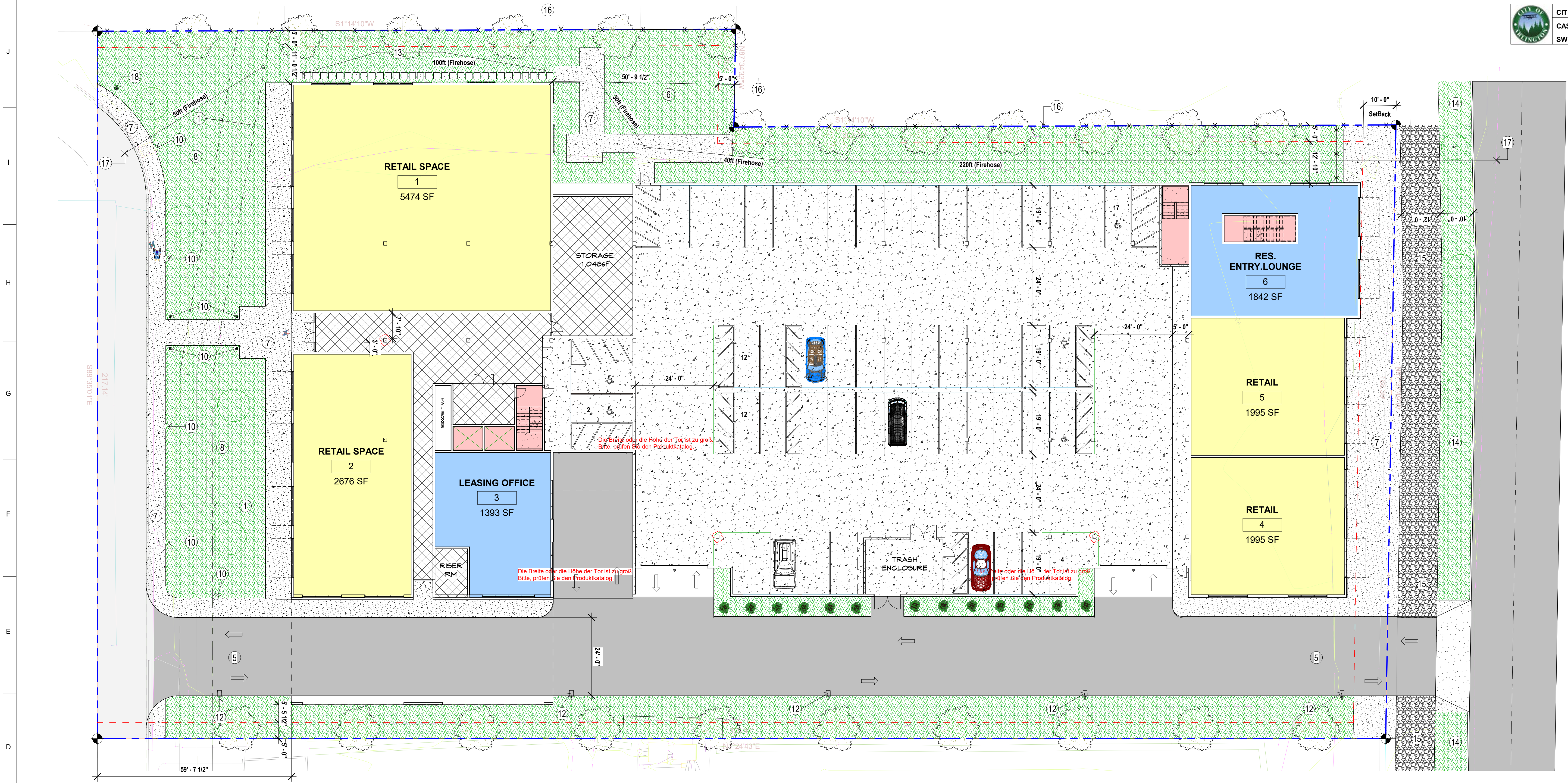
NOT FOR CONSTRUCTION

16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

J
I
H
G
F
E
D
C
B
A



CITY OF ARLINGTON : (PLN # 888)
CASCADE MIXED USE
SW 21 T31N R 5E



SITE KEYNOTES:

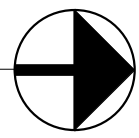
- 1 EXISTING 10ft SEWER EASEMENT
- 2 EXISTING 10ft POWER EASEMENT
- 3 EXISTING 10ft WATER EASEMENT
- 4 EXISTING 30ft RECIPROCAL EASEMENT
- 5 24ft WIDE ACCESS DRIVE WAY
- 6 USABLE OPEN SPACE (KIDS PLAY AREA) 2,000SF
- 7 NEW CONCRETE SIDE WALKS
- 8 ONSITE USABLE OPEN SPACE W/BENCHES 2,500SF
- 9 EXISTING FIRE HYDRANTS
- 10 NEW BOLLARD LIGHT FIXTURES
- 11 NEW PEDESTRIAL LIGHTPOLES
- 12 NEW STREET LIGHTPOLES
- 13 NEW 2x2 CONCRETE PAVERS
- 14 R.O.W. 10ft. LANDSCAPING
- 15 R.O.W. 12ft. MULTI-PRPOSE TRAIL
- 16 6ft WOODEN FENCE
- 17 FIRETRUCK HOSE DISTANCE (STARTING PT.)
- 18 NEW FIRE HYDRANT

SITE PLAN LEGEND

	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE
	ZONING OUTLINE
	BUILDING OUTLINE
	PROPERTY CORNER
	FENCE @ PROPERTY-LINE
	WATER LINE
	GAS LINE
	CONCRETE PAVING/SIDEWALK
	ROAD/PARKING PAVING
	LANDSCAPED AREA

1 MAIN FLOOR - SITE

1/16" = 1'-0"



BUILDING DETAILS:
Height: 4 Stories w/Basement Parking

AREA CALC'S:

LEASING & RESIDENTIAL = 3,235sf
OFFICE/RETAIL SPACE = 12,136 sf
HALLWAYS/STORAGE = 3,035sf
VERT. CIRCULATION = 662 sf
PARKING AREA = 21,530 sf

PARKING STALLS CALC'S:

MAIN FLOOR
Standard Stalls = 46
Handicap Stalls = 5

UNDERGROUND FL.
Standard Stalls = 67
Compact Stalls = 5
Handicap Stalls = 4
Total Stalls = 127



N.EAST
3D-PERSPECTIVE

MARCH SOLUTIONS

16520 Larch Way, Lynnwood, WA
Tel: (206) 552-0782
Simon@imararchsolutions.com

CUP/DESIGN REVIEW
09/19/2022



REVISION SCHEDULE

NUMBER	DESCRIPTION	DATE
1	Revision 1	Date 1

CLIENT: CASCADE APARTMENTS LLC

CASCADE MIXED USE

ARLINGTON, WA

SITE LAYOUT - MAIN FLOOR

PROJECT No: 2021.03

PREPARED By: SS

DRAWING No:

A1.2

NOT FOR CONSTRUCTION

NUMBER	DESCRIPTION	DATE
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CASCADE MIXED USE
ARLINGTON, WA

PARKING LEVEL - UNDERGROUND

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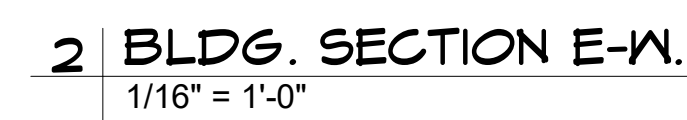
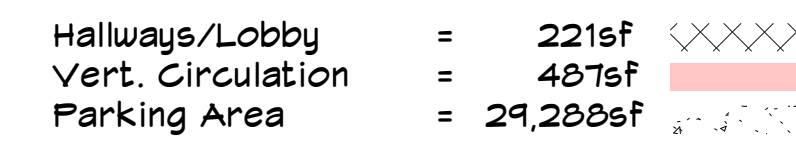
PROJECT No: 2021.03

PREPARED By: SS

DRAWING No:

A2.0

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NOT FOR CONSTRUCTION



-

2	EAST ELEVATION
	1/16" = 1'-0"

MATERIAL/COLOR SAMPLES:

-
-
-
-

-

- 

-

-

- 

-

- 19 NU-WAVE CORRUGATED MTL. SIDING**
COLOR: METALLIC COPPER (DURA TECH *mx*)



- | | |
|---|----------------|
| 2 | WEST ELEVATION |
| | 1/16" = 1'-0" |

19 NU-WAVE CORRUGATED MTL. SIDING
COLOR: METALLIC COPPER (DURA TECH *mx*)