

LEGAL DESCRIPTION

THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M., DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST QUARTER OF SAID SECTION 21; THENCE NORTH 87°34'27" WEST ALONG THE SOUTH LINE OF SAID SUBDIVISION A DISTANCE OF 55.03 FEET; THENCE NORTH 0°03'33" EAST A DISTANCE OF 280.15 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 0°03'33" EAST A DISTANCE OF 557.21 FEET TO THE POINT OF A CURVATURE; THENCE 102.96 FEET ALONG A TANGENT CURVE TO THE LEFT, CONCAVE TO THE NORTHEAST, HAVING A RADIUS 586.76 FEET AND CONSUMING A CENTRAL ANGLE OF 10°03'05"; THENCE NORTH 87°34'27" WEST A DISTANCE OF 1095.75 FEET; THENCE SOUTH 0°29'33" WEST A DISTANCE OF 658.08 FEET; THENCE SOUTH 87°34'27" EAST A DISTANCE OF 1128.25 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.
(CONTAINING APPROXIMATELY 734,815 S.F. / 16.87 ACRES)

TAX PARCEL NUMBER: 31052100400100

PROJECT STATISTICS

ZONING DESIGNATION: GC-GENERAL COMMERCIAL, BP-INDUSTRIAL PARK
AIRPORT PROTECTION DISTRICT SUBDISTRICT: B
SITE AREA: 734,815 S.F. / 16.87 ACRES
BUILDING SETBACK FROM ARTERIAL: 25 FEET
BUILDING SETBACK FROM LOT BOUNDARY LINE OR ALLEY: 5 FEET
HEIGHT LIMITATION: 50 FEET
MAXIMUM LOT COVERAGE: 100%

BUILDING DATA

CODES USED: 2018 IBC, IMC, UPC, IFC, 2018 ICC ANS I 117.1, 2012 WSNREC & CITY OF ARLINGTON MUNICIPAL CODE

TYPE OF CONSTRUCTION: TYPE III-B, SPRINKLED
OCCUPANCY GROUPS (ANTICIPATED): B, S-1 AND F-1
NUMBER OF STORIES: 1
BUILDING SETBACK FROM ARTERIAL PROVIDED: 95 FEET +
BUILDING SETBACK FROM LOT BOUNDARY LINE PROVIDED: 97 FEET +
BUILDING HEIGHT (MAXIMUM): 33'-6"
LOT COVERAGE * (IMPERVIOUS SURFACE): XXXXX S.F. (XXXXX%)
* EXCLUDES EXISTING BUILDING A

ALLOWABLE FLOOR AREA: UNLIMITED
ALLOWABLE AREA CALCULATION:

PER IBC 503.1.2, TWO OR MORE BUILDINGS ON THE SAME LOT SHALL BE CONSIDERED AS PORTIONS OF ONE BUILDING. BUILDING A AND BUILDING B TO BE UNLIMITED AREA BUILDING(S) PER I.B.C. 507.4, SPRINKLED ONE STORY BUILDING SEPARATED BY YARDS 60' OR GREATER.

BUILDING AREA:
PROPOSED BUILDING B AREA (FOOTPRINT): 168,494 S.F.
TOTAL BUILDING B AREA: 168,494 S.F.

REQUIRED PARKING:
BUILDING B:
FUTURE OFFICE (ASSUME 15%): 63 STALLS
FUTURE MANUFACTURING (ASSUME 25%): 56 STALLS
FUTURE WAREHOUSE (ASSUME 60%): 51 STALLS
TOTAL PARKING REQUIRED FOR BUILDING B: 170 STALLS

PROVIDED PARKING:
BUILDING A (EXISTING):
STANDARD: 270 STALLS
ACCESSIBLE: 7 STALLS
TOTAL PARKING PROVIDED BUILDING A: 277 STALLS
BUILDING B (PROPOSED):
STANDARD: 276 STALLS
ACCESSIBLE: 7 STALLS
TOTAL PARKING PROVIDED BUILDING B: 283 STALLS
TOTAL PARKING PROVIDED BUILDING A & B: 560 STALLS

BUILDING TO BE SEMI HEATED SPACE. SEE ENERGY ANALYSIS BY FRANKLIN ENGINEERING, BIDDER DESIGN GAS HEAT TO BE DESIGNED FOR SEMI-HEATED SPACE (8/8TU/S.F.) FOR ENTIRE BUILDING AND ELECTRICAL/SPRINKLER ROOM. ROOF TO HAVE MINIMUM R-38 RIGID INSULATION OVER ENTIRE ROOF AREA.

PROJECT SCOPE

CONSTRUCT 168,494 S.F. OFFICE/WAREHOUSE BUILDING SHELL AND ASSOCIATED SITE WORK.

VICINITY MAP



CITY OF ARLINGTON ARLINGTON AIRPORT INDUSTRIAL PARK BUILDING B

File: PLN#737

SECTION 21, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M



PERMIT APPLICATION SET

X.X.-22

PROJECT TEAM

Table listing project team members including Developer (Smartcap), Architect (Lance Mueller & Associates), Civil Engineer (Land Technologies, Inc.), Structural Engineer (Engineers Northwest), Landscape Design (Main Street Design), and Geotechnical Engineer (Geotest).

DEFERRED PERMITS

- Electrical Permit
Plumbing Permit
Mechanical (HVAC) Permit
Fire Sprinkler Permit
Fire Alarm Permit
Sign Permit
Racking/Shelving Over 5'-9"

CITY OF ARLINGTON GENERAL NOTES

- 1. THE JOB SUPERINTENDENT SHALL MAINTAIN AT THE JOB SITE A LIST OF THE SPECIAL INSPECTORS CONDUCTING INSPECTIONS ON THE PROJECT...
2. NO BUILDING OR PORTION OF A BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE...
3. SEPARATE PERMITS ARE REQUIRED FOR PLUMBING, MECHANICAL, ELECTRICAL, SIGNS, FENCES AND DEMOLITIONS...
4. GREASE TRAPS AND OIL-WATER SEPARATORS REQUIRE SEPARATE INSPECTIONS DURING INSTALLATION AND BEFORE COVERING UP...
5. ALL REQUESTED CHANGES TO THE APPROVED PLANS SHALL BE PREPARED BY THE PROJECT ARCHITECT AND/OR ENGINEER...
6. THE FINAL SIGNED REPORT FROM THE APPROVED TESTING LAB SHALL BE SUBMITTED TO THE BUILDING OFFICIAL PRIOR TO FINAL INSPECTION FOR OCCUPANCY...
7. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STATE-ADOPTED CODES.

CITY OF ARLINGTON FIRE PROTECTION NOTES

- 1. BIDDER DESIGN FIRE SPRINKLER SYSTEM TO BE DESIGNED AS E.S.F.R THROUGHOUT THE BUILDING PER N.F.P.A 13 FOR ANTICIPATED HIGH PILE STORAGE PROTECTION OF COMMODITY GROUPS I-IV...
2. SPRINKLERS TO UTILIZE QUICK RESPONSE HEADS...
3. ALL AREAS PROVIDED WITH WET FIRE SPRINKLERS TO BE MAINTAINED BY BUILDING OWNER TO A MINIMUM OF 40 DEGREES FOR FROST PROTECTION...
4. SPRINKLER RISER ROOM TO HAVE LIGHT AND HEAT TO KEEP EQUIPMENT FROM FREEZING...
5. HIGH WHITE LETTER ON RED BACKGROUND...
6. PROVIDE SPRINKLER PROTECTION UNDER ALL CANOPIES IF REQUIRED BY ARLINGTON FIRE DEPARTMENT...
7. BIDDER DESIGN VISIBLE AND MONITORED FIRE ALARM SYSTEM TO BE INSTALLED IN PER 2015 IFC AND CITY OF ARLINGTON REQUIREMENTS.

PLAN LEGEND

Legend table defining symbols for walls, doors, windows, room names, detail references, section cuts, and various materials like earth, gravel, concrete, asphalt, wood framing, glass, gypsum, caulk, plywood, brick, tile, insulation, and metal.

INDEX OF DRAWINGS

Index of drawings table with columns for drawing type (Architectural, Structural), drawing number, and description. Includes drawings for project data, site details, floor plans, roof plans, elevations, and sections.

Any changes?

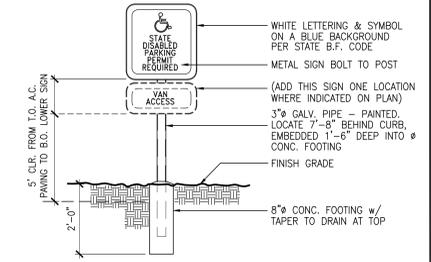
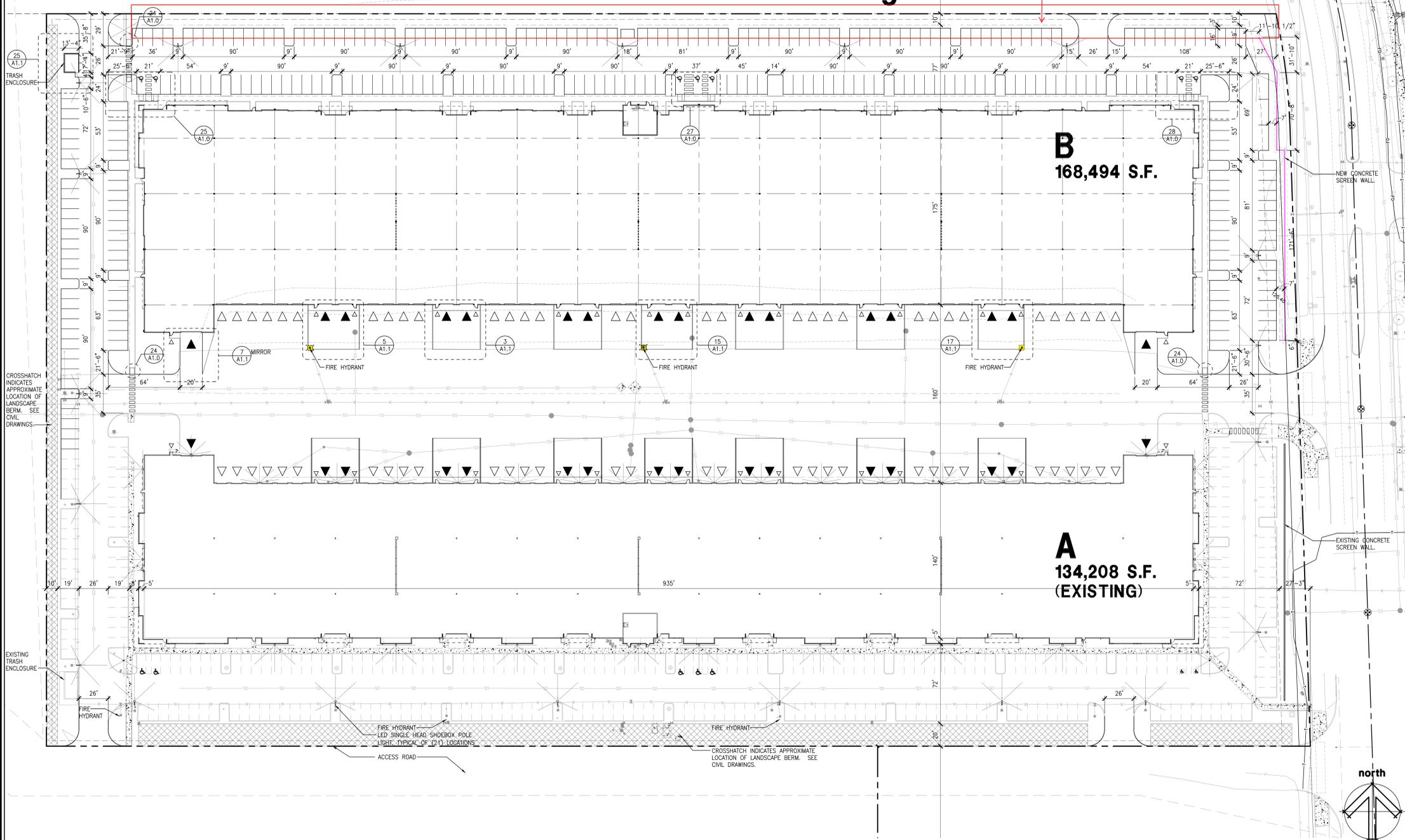
Vertical sidebar containing project information: PROJECT DATA / COVER SHEET, LANGE MUELLER & ASSOCIATES, Arlington Airport Industrial Park, Arlington, Washington, and sheet number A0.0.

3/24/2022

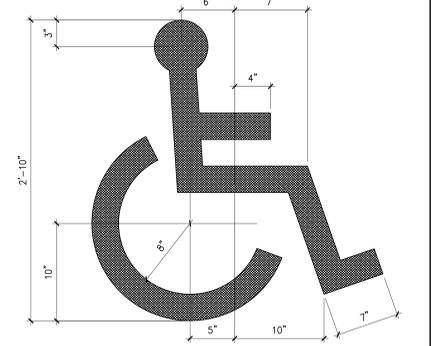
FUTURE AIRPORT TRAIL

Future 173rd Street N.E. Alignment

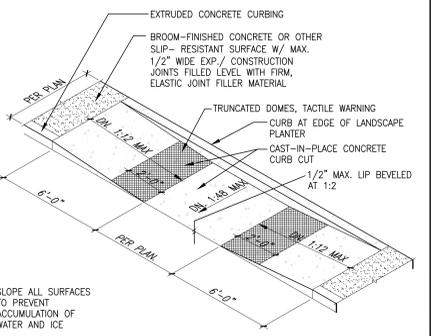
I'm waiting to see how civil complies with screening issues. Berm or conc. wall.



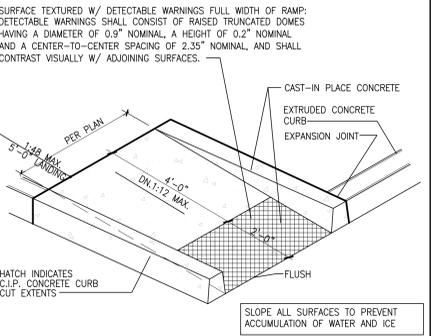
6 ACCESSIBLE PARKING SIGN
Scale: 1/2"=1'-0"



12 ACCESSIBLE PARKING SYMBOL
Scale: NOT TO SCALE

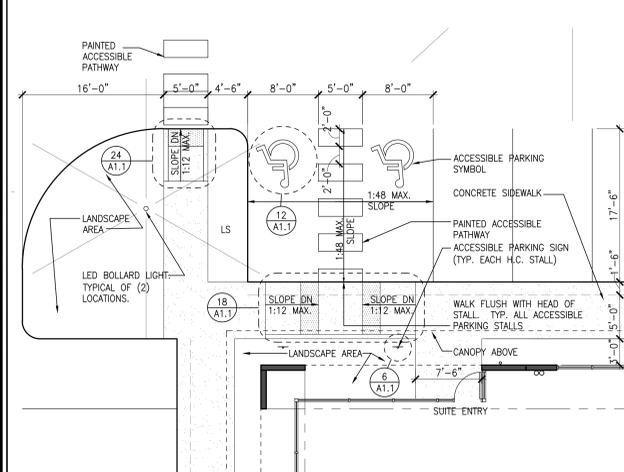


18 CURB CUT AT ACCESSIBLE PARKING
Scale: NOT TO SCALE

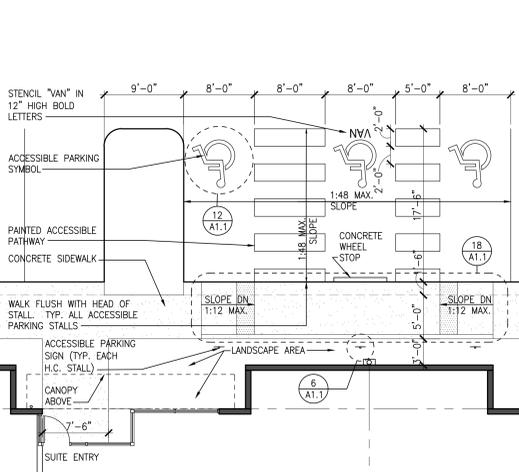


24 CURB CUT
Scale: NOT TO SCALE

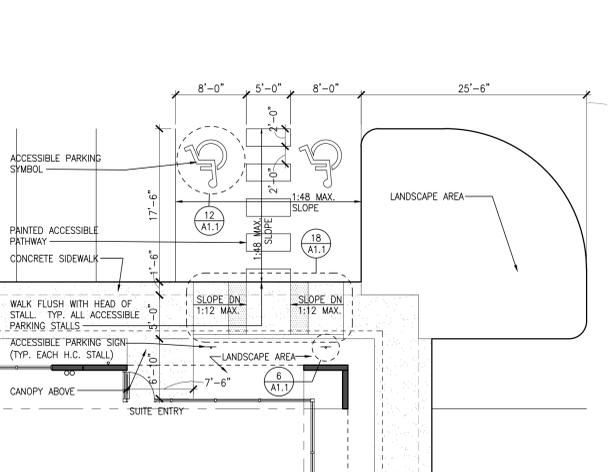
13 SITE PLAN
Scale: 1"=40'-0"



25 ENLARGED PLAN AT NW ACCESSIBLE PARKING
Scale: 1/8"=1'-0"



27 ENLARGED PLAN AT CENTER ACCESSIBLE PARKING
Scale: 1/8"=1'-0"



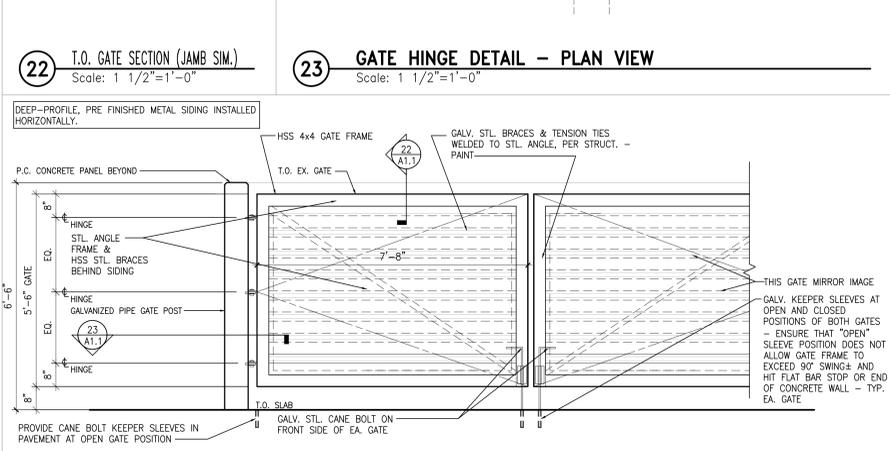
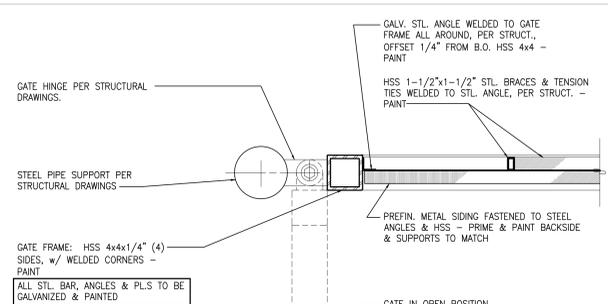
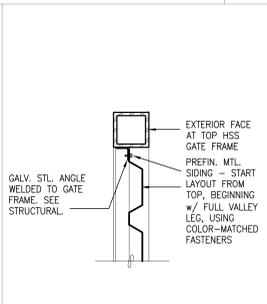
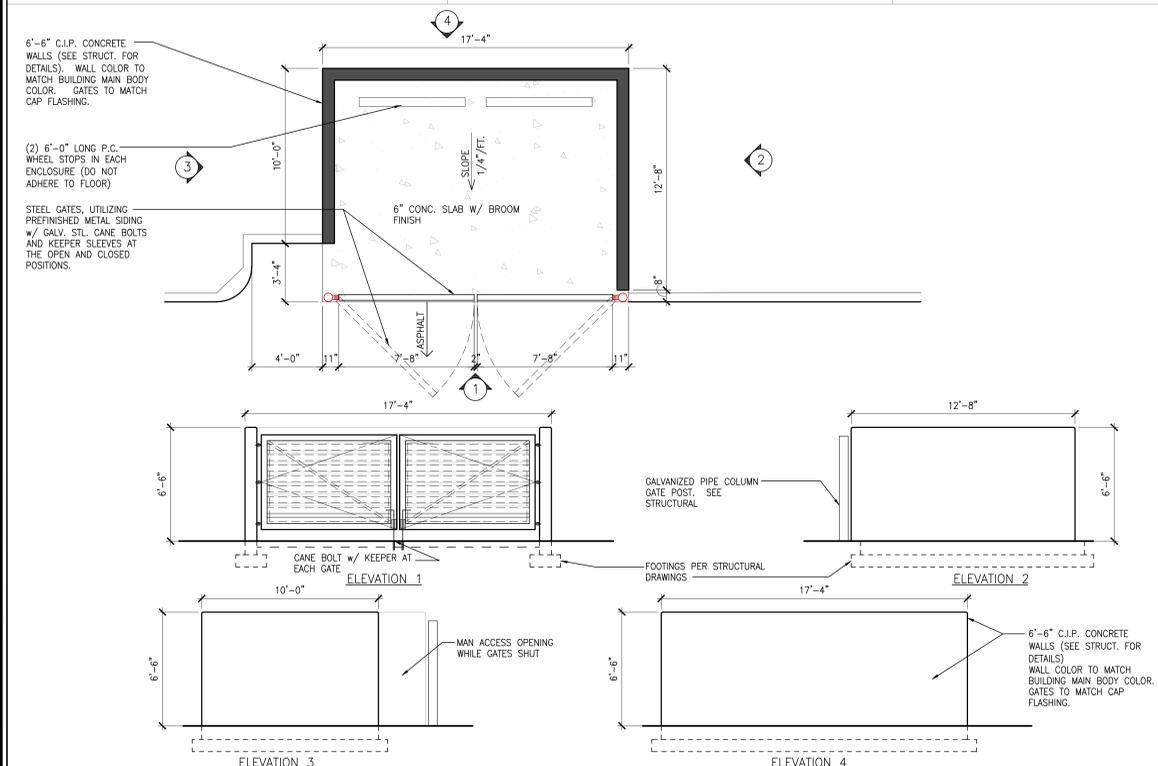
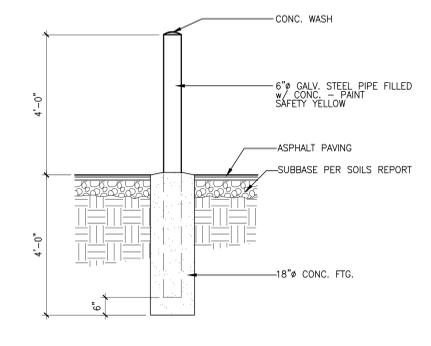
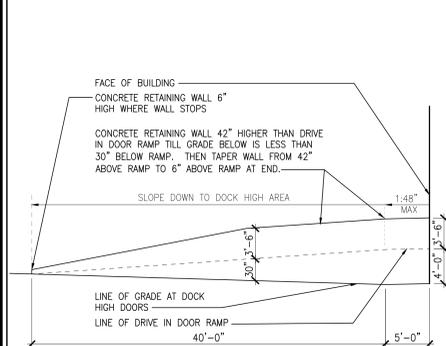
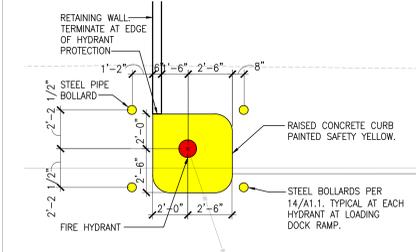
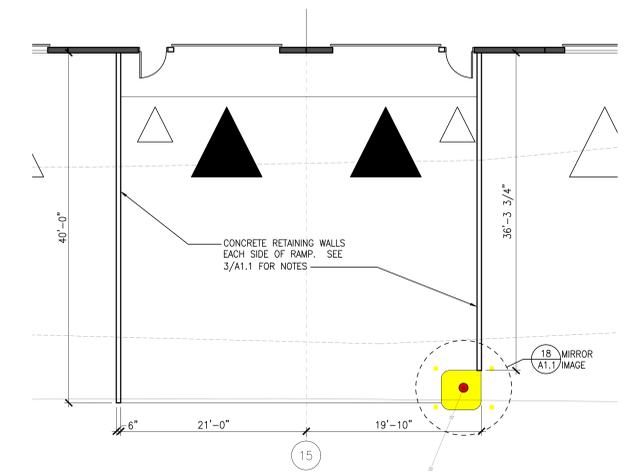
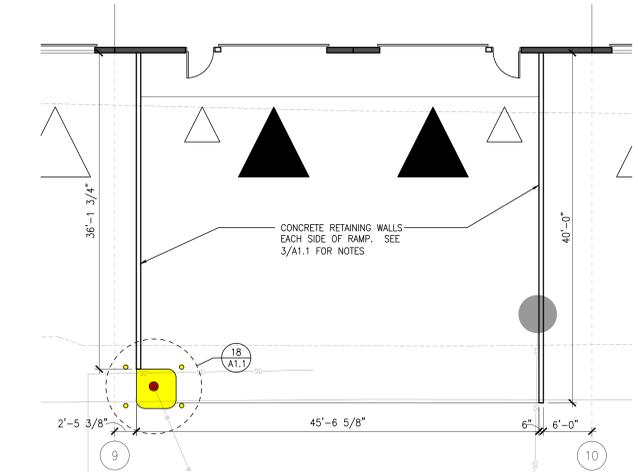
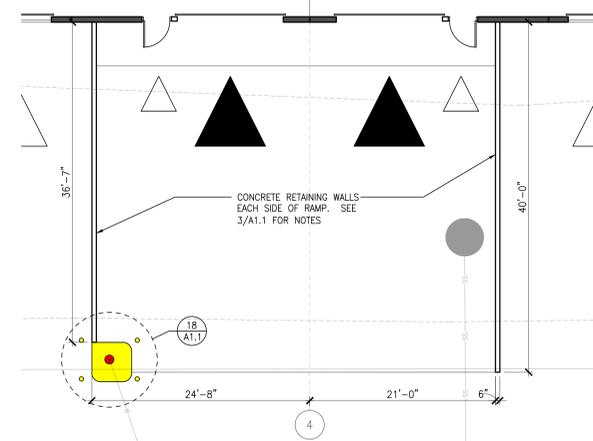
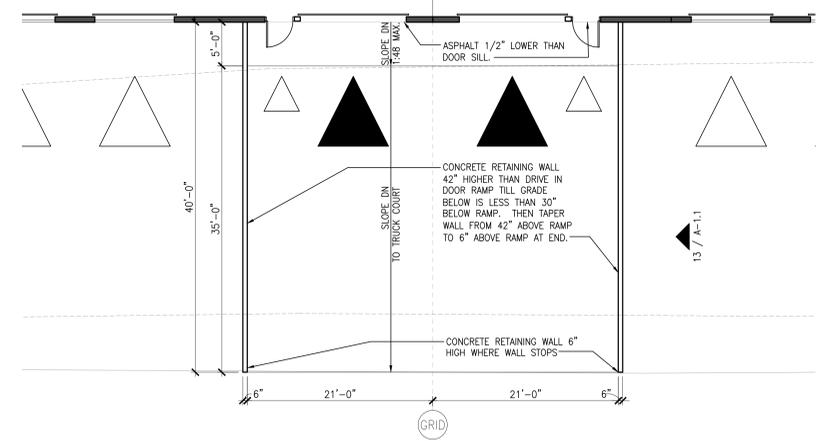
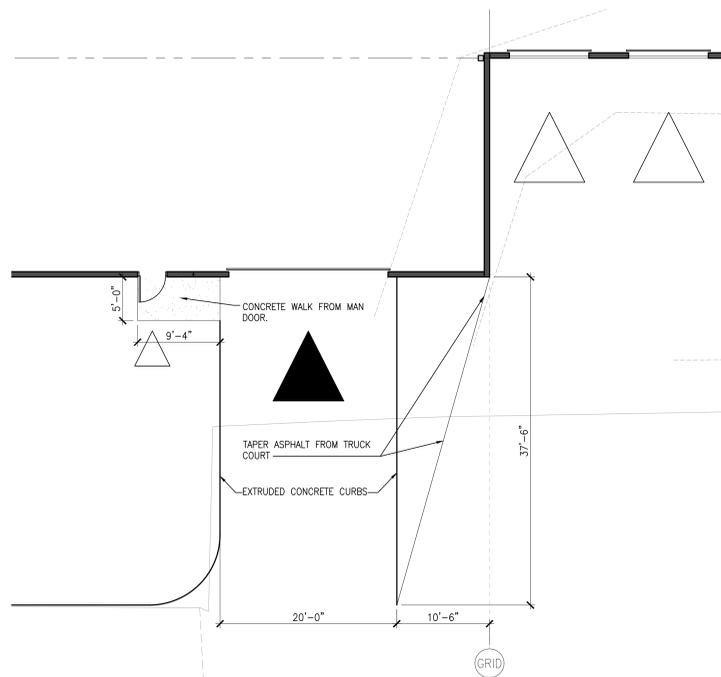
28 ENLARGED PLAN AT NE ACCESSIBLE PARKING
Scale: 1/8"=1'-0"

19-063
JOB NO.
HAROLD C.
ARCHITECT
REGISTERED ARCHITECT
STATE OF WASHINGTON
PRELIM APPLICATION SET

Proposed Building B for
Smartcap
Arlington Airport Industrial Park
Arlington, Washington

LANGE MUELLER & ASSOCIATES
ARCHITECTS
130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553

SITE PLAN, ENLARGED SITE DETAILS
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A1.0



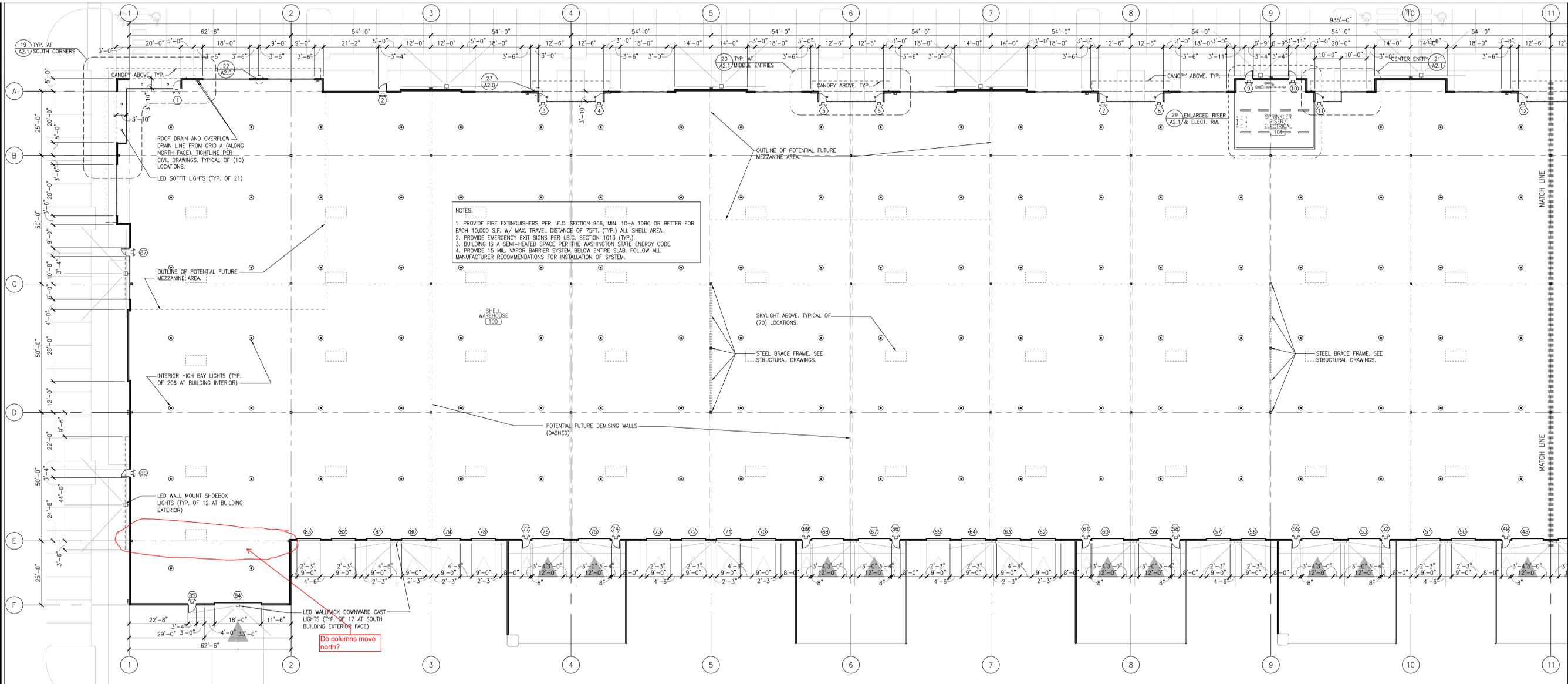
MISCELLANEOUS SITE DETAILS

Proposed Building B for
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Arlington Airport Industrial Park
Arlington, Washington

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ARCHITECTS
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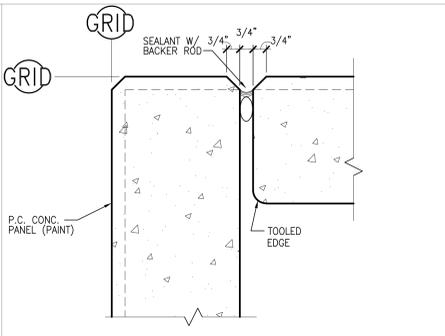
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19-063
JOB NO.
HAROLD C.
OWNER
19083
PROJECT
ARCHITECT
DATE OF REVISION
PERMIT APPLICATION SET

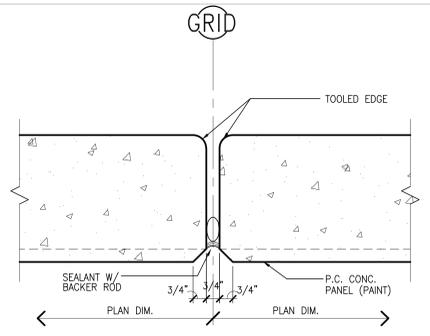


13 FLOOR PLAN (WESTERN END)
Scale: 1/16"=1'-0"

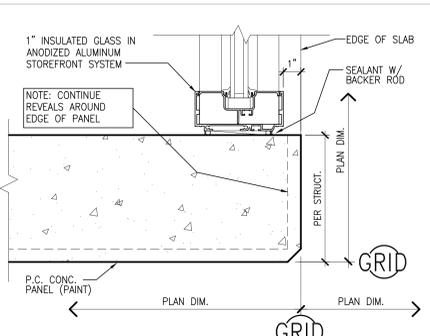
- GENERAL NOTES**
1. ALL WORK SHALL CONFORM TO APPLICABLE CURRENT FEDERAL, STATE AND LOCAL CODES. THE CONTRACTOR IS TO PROVIDE FOR ALL REQUIRED NOTIFICATION OF AND COORDINATION WITH THE CITY AND STATE AGENCIES, AND PROVIDE REQUIRED PERMITS. ALL TESTS AND INSPECTIONS ASSOCIATED WITH OBTAINING APPROVALS TO PROCEED WITH AND COMPLETE THE WORK SHALL BE PAID FOR BY THE CONTRACTOR.
 2. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS, EQUIPMENT AND TRANSPORTATION NECESSARY OR REASONABLY INFERRABLE AS BEING NECESSARY FOR THE EXECUTION OF THE WORK. BY SUBMITTING A PROPOSAL, THE CONTRACTOR REPRESENTS THAT THROUGH EXAMINATION OF THE SITE AND ALL EXISTING CONDITIONS AND LIMITATIONS HAVE BEEN MADE AND THAT THE CONTRACT DOCUMENTS HAVE BEEN EXAMINED IN COMPLETE DETAIL, AND THAT IT IS DETERMINED BEYOND DOUBT THAT THE DRAWINGS AND EXISTING CONDITIONS ARE SUFFICIENT, ADEQUATE AND SATISFACTORY FOR CONSTRUCTION OF THE WORK. WHERE MINOR ADJUSTMENTS TO THE WORK ARE NECESSARY FOR THE PURPOSES OF FABRICATION AND INSTALLATION OF ITEMS, OR RESOLUTIONS OF CONFLICTS BETWEEN ITEMS, WITHIN THE INTENT OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL MAKE SUCH ADJUSTMENTS AT NO ADDED EXPENSE TO THE OWNER. WHERE SUCH MINOR ADJUSTMENTS AFFECT FUNCTIONAL OR AESTHETIC DESIGN OF THE WORK, THEY SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.
 3. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER, INCLUDING AREA FOR WORK, MATERIALS STORAGE, ACCESS TO AND FROM THE WORK, SPECIAL CONDITIONS OR NOISY WORK, TIMING OF WORK AND INTERRUPTIONS OF MECHANICAL AND ELECTRICAL SERVICES.
 4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HIGHEST STANDARD OF WORKMANSHIP IN GENERAL AND WITH SUCH STANDARDS AS ARE SPECIFIED.
 5. CONTRACTOR SHALL ADHERE TO ALL BUILDING STANDARDS. ANY CHANGE TO SAME SHALL BE SUBMITTED TO ARCHITECT IN WRITING FOR REVIEW AND APPROVAL.
 6. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES OF SUCH SIZE AND NUMBER THAT THEY REPRESENT A REASONABLE DISTRIBUTION OF COLOR RANGE AND PATTERN PRIOR TO INSTALLATION FOR ARCHITECT'S APPROVAL. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND PRODUCT DATA FOR ARCHITECT'S APPROVAL ON ALL SPECIAL ITEMS REQUIRING CUSTOM FABRICATION.
 7. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR IS NOT TO SCALE DRAWINGS.
 8. CONTRACTOR SHALL PROVIDE FOR ALL WORK REQUIRED TO MAINTAIN COMPLIANCE WITH LOCAL FIRE CODE. PROVIDE FOR ALL REQUIRED SHOP DRAWINGS AND APPROVALS.
 9. MECHANICAL AND ELECTRICAL FIXTURES, OUTLETS, ETC. WHEN SHOWN ON THE ARCHITECTURAL DRAWINGS ARE FOR LOCATION INFORMATION ONLY. MECHANICAL AND ELECTRICAL TO BE DESIGNED BY OTHERS. ALL CIRCUITING COORDINATION TO BE BY OTHERS.
 10. CONTRACTOR IS TO PROVIDE DRAWINGS FOR ARCHITECT'S & OWNER APPROVAL SHOWING LOCATIONS OF ALL HVAC THERMOSTATS, GRILLES, AND DIFFUSERS, FIRE AND SMOKE DETECTION DEVICES INCLUDING SPRINKLERS AND FIRE EXTINGUISHERS.
 11. ANY CHANGE IN LIGHT FIXTURE PLACEMENT DUE TO INTERFERENCE OF MECHANICAL OR STRUCTURAL COMPONENTS MUST BE APPROVED BY ARCHITECT & TENANT.
 12. BUILDING HAS BEEN DESIGNED AS SEMI-HEATED SPACE. HEATING IS TO BE BIDDER DESIGN. SEE ENERGY CALCULATION BY FRANKLIN ENGINEERING.
 13. ENTIRE ROOF AREA TO BE INSULATED WITH R-38 RIGID INSULATION.
 14. PLUMBING AND ELECTRICAL SYSTEM IS BIDDER DESIGN.



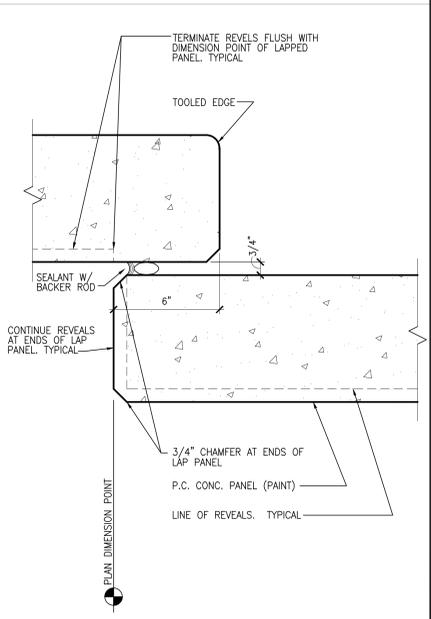
21 CORNER JOINT
Scale: 3"=1'-0"



22 BUTT PANEL JOINT
Scale: 3"=1'-0"



23 PANEL AT RECESSED ENTRY
Scale: 3"=1'-0"



30 LAP PANEL JOINT
Scale: 3"=1'-0"

19-063
JOB NO.
HAROLD C.
OWNER

REGISTERED ARCHITECT
Smartcap
STATE OF WASHINGTON

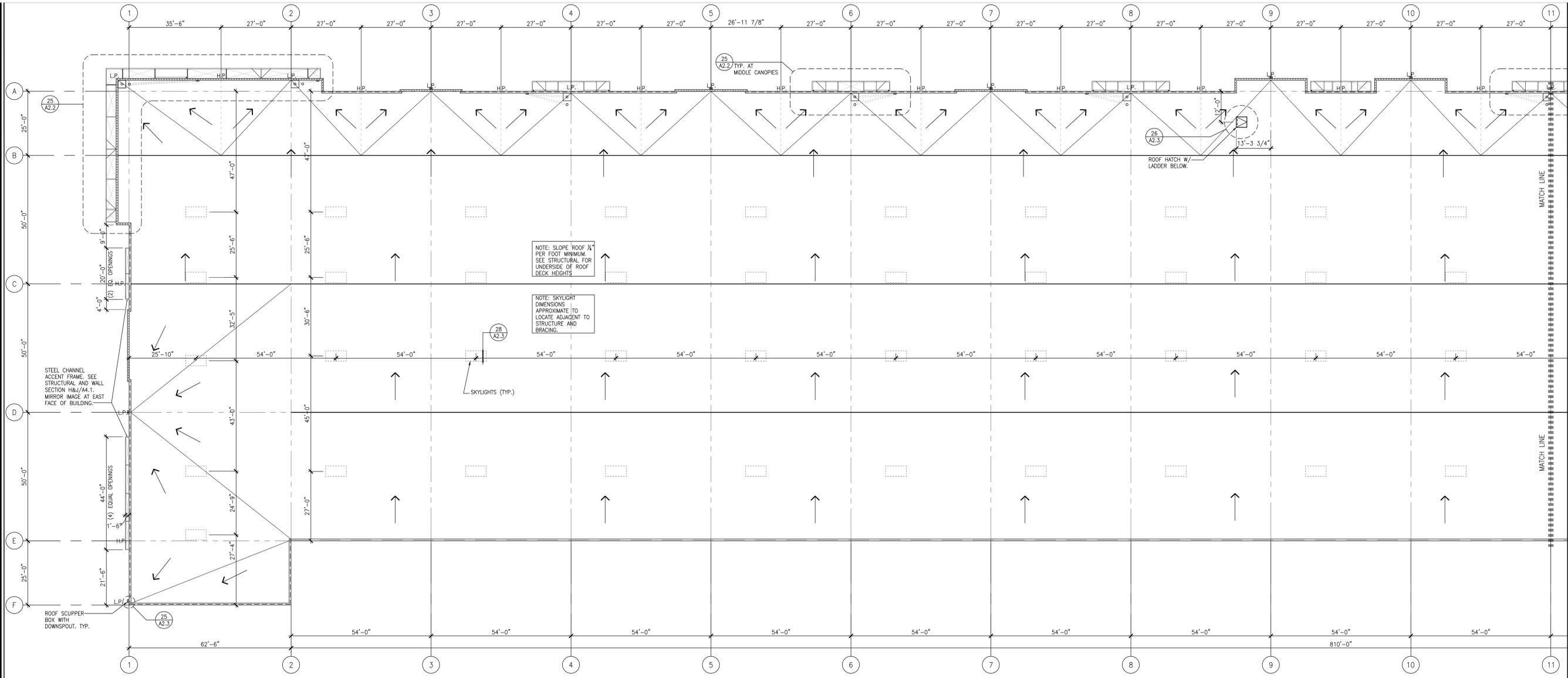
PRELIM APPLICATION SET

Proposed Building B for
Smartcap
Arlington Airport Industrial Park
Arlington, Washington

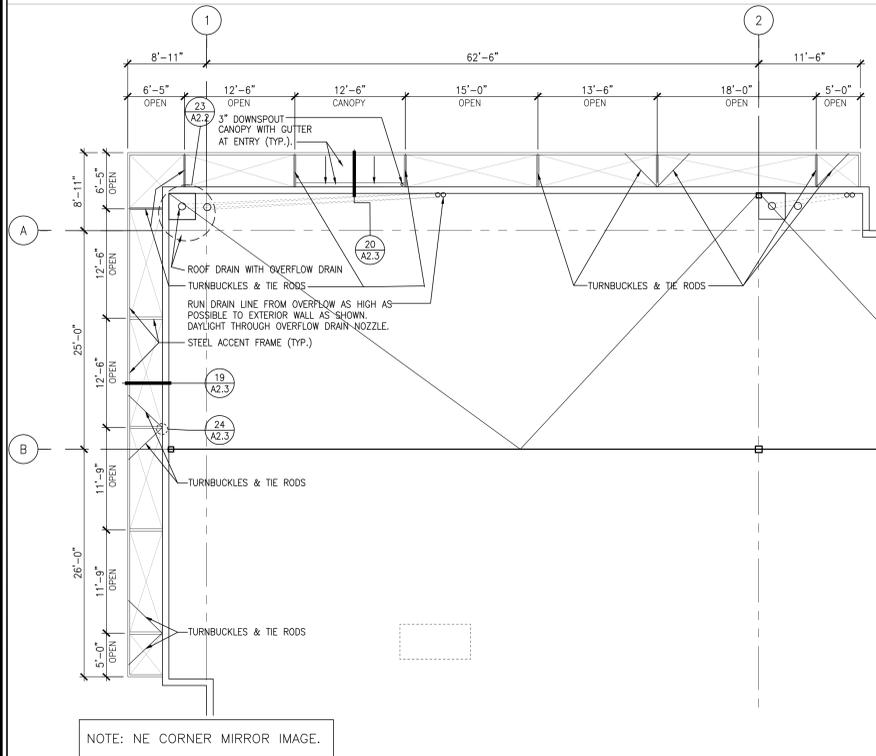
FLOOR PLAN (WESTERN END), DETAILS
LANGE MUELLER & ASSOCIATES
ARCHITECTS
130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553

sheet
A2.0

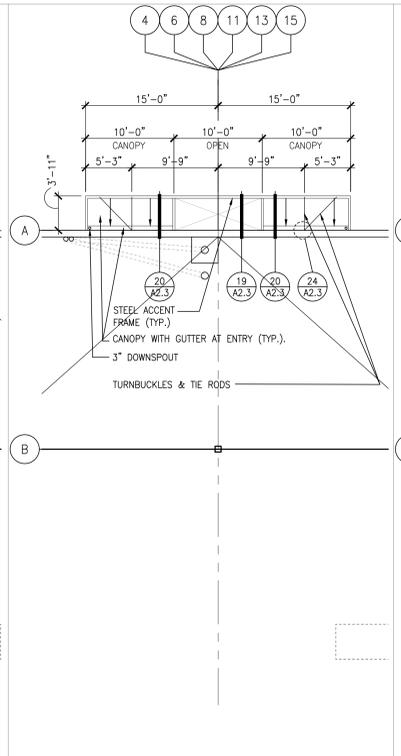
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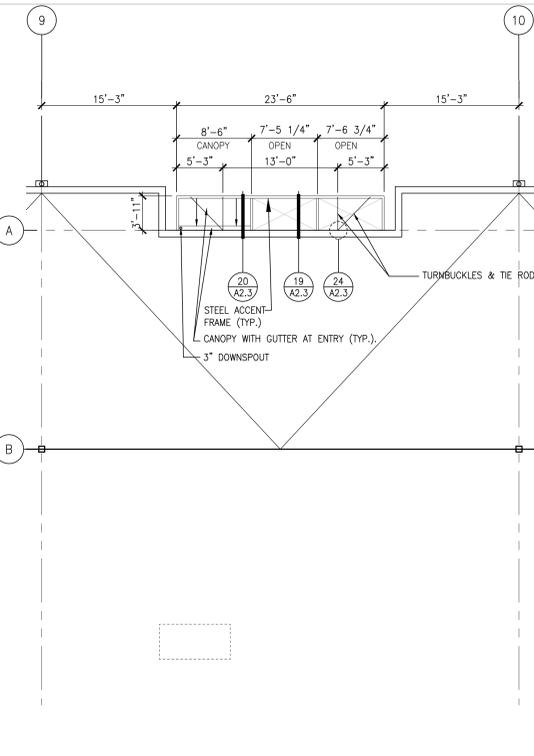
13 ROOF PLAN (WESTERN END)
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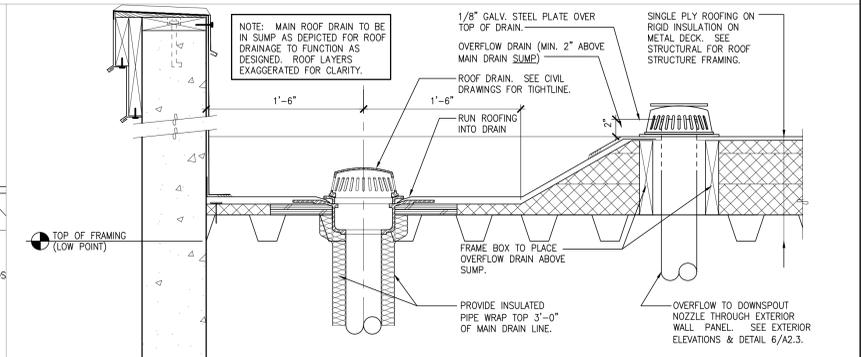
25 ENLARGED CANOPY PLAN (NW AND NE CORNER)
Scale: 1/8"=1'-0"



26 ENLARGED CANOPY PLAN (TYPICAL TENANT ENTRY)
Scale: 1/8"=1'-0"



27 ENLARGED CANOPY PLAN (CENTER BAY)
Scale: 1/8"=1'-0"



23 ROOF DRAIN WITH OVERFLOW DRAIN (TYPICAL GRID A)
Scale: 1 1/2"=1'-0"

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19-063
JOB NO.
HAROLD C.
OWNER

3061 REGISTERED ARCHITECT
Smartcap
STATE OF WASHINGTON

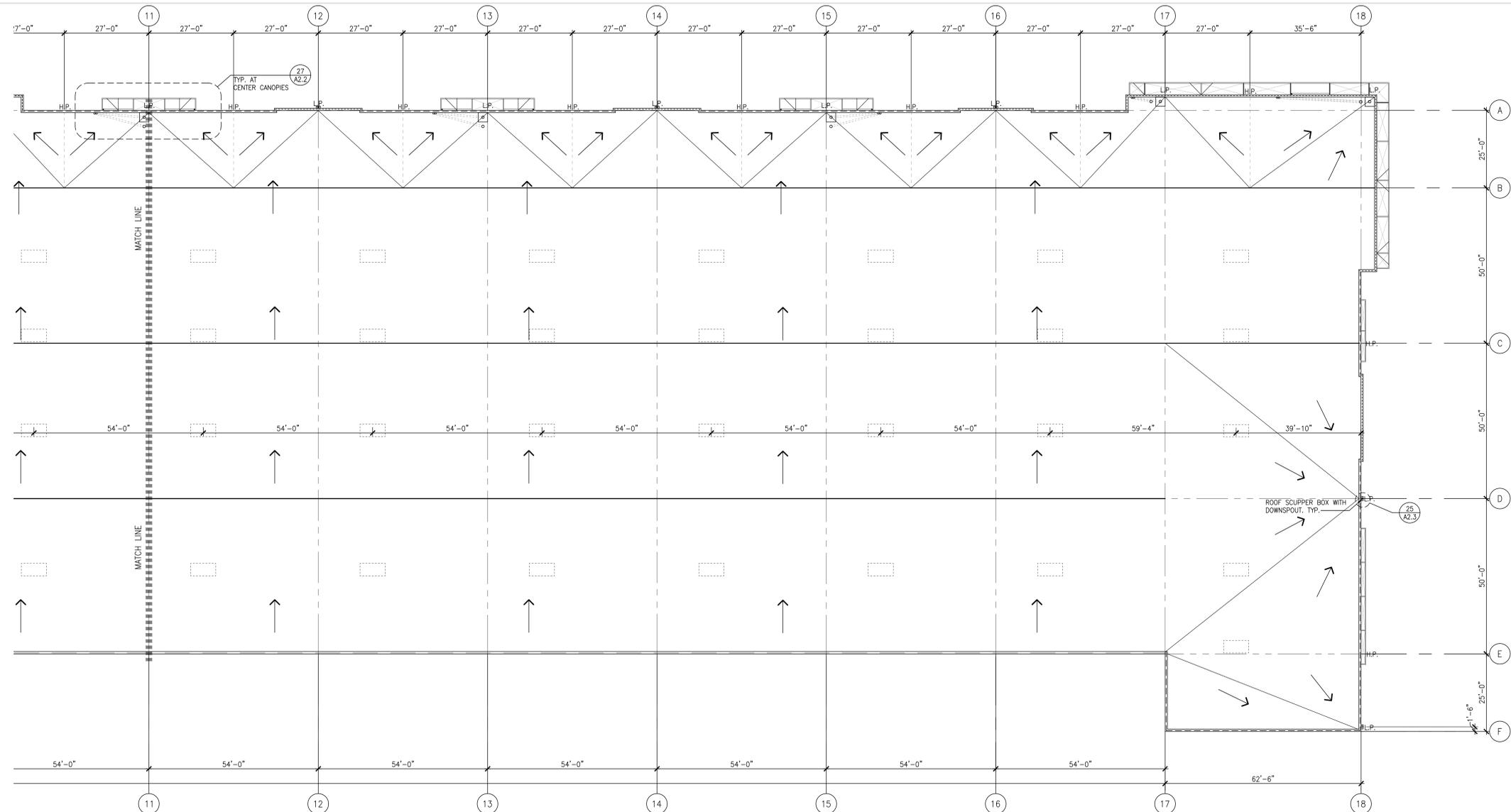
PERMIT APPLICATION SET

Proposed Building B for
Smartcap
Arlington Airport Industrial Park
Arlington, Washington

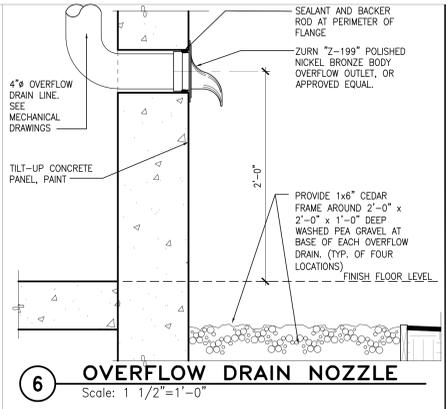
LANGE MUELLER & ASSOCIATES
ARCHITECTS
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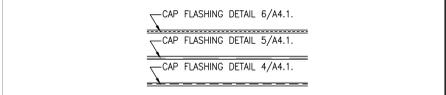
3/24/2022



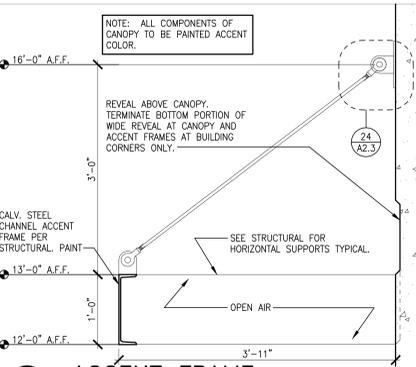
13 ROOF PLAN (EASTERN END)
Scale: 1/16"=1'-0"



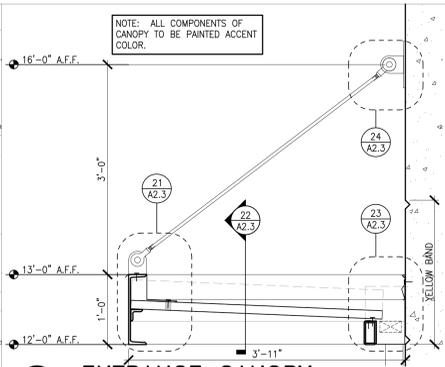
6 OVERFLOW DRAIN NOZZLE
Scale: 1 1/2"=1'-0"



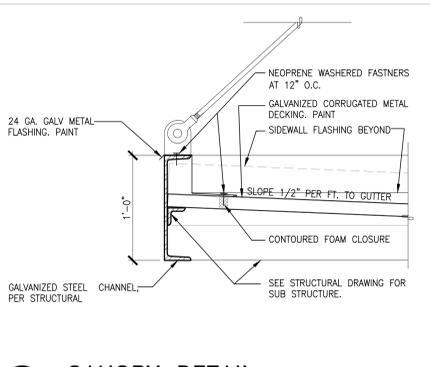
12 ROOF CAP FLASHING KEY
Scale: N.T.S.



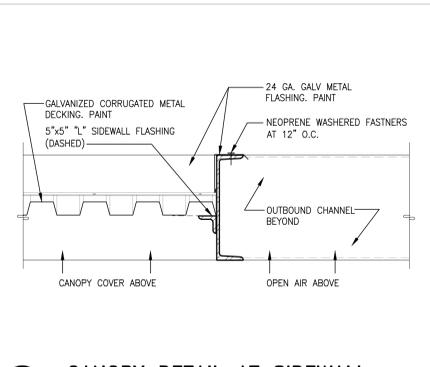
19 ACCENT FRAME
Scale: 1"=1'-0"



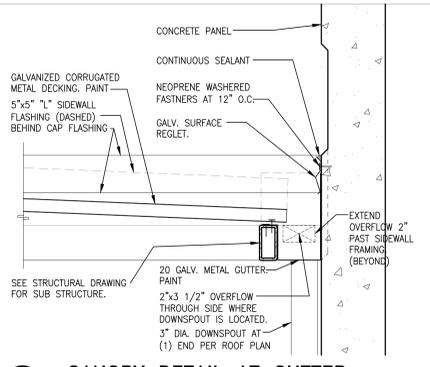
20 ENTRANCE CANOPY
Scale: 1"=1'-0"



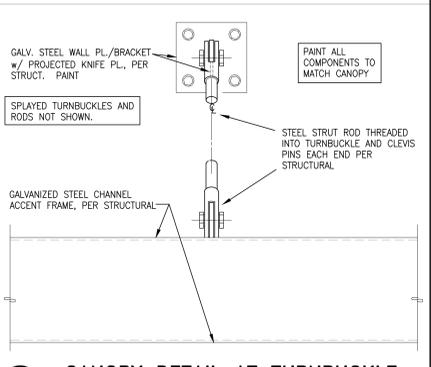
21 CANOPY DETAIL
Scale: 1 1/2"=1'-0"



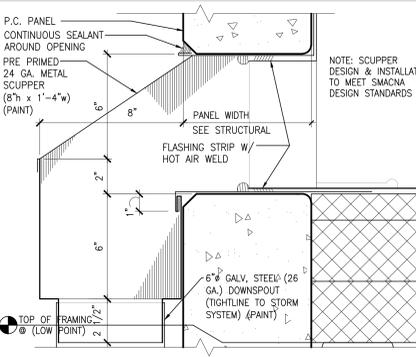
22 CANOPY DETAIL AT SIDEWALL
Scale: 1 1/2"=1'-0"



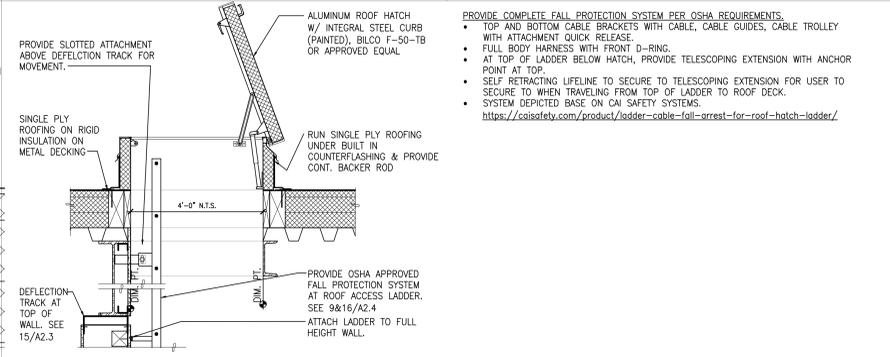
23 CANOPY DETAIL AT GUTTER
Scale: 1 1/2"=1'-0"



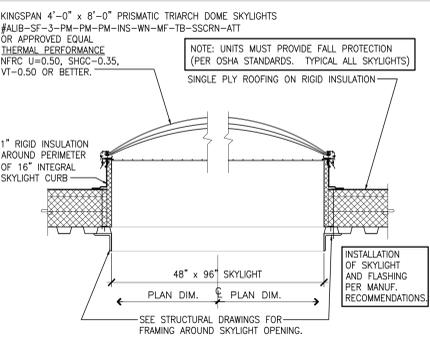
24 CANOPY DETAIL AT TURNBUCKLE
Scale: 1 1/2"=1'-0"



25 SCUPPER BOX
Scale: 3"=1'-0"



26 ROOF ACCESS HATCH W/ LADDER
Scale: 3/4"=1'-0"



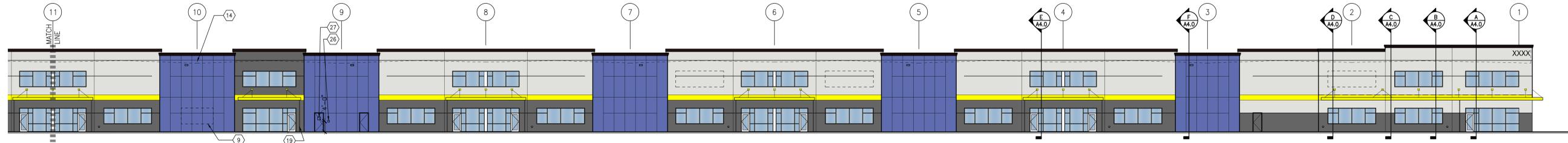
28 SKYLIGHT
Scale: 3/4"=1'-0"

19-063
HAROLD C.
REGISTERED ARCHITECT
STATE OF WASHINGTON
PRELIM APPLICATION SET

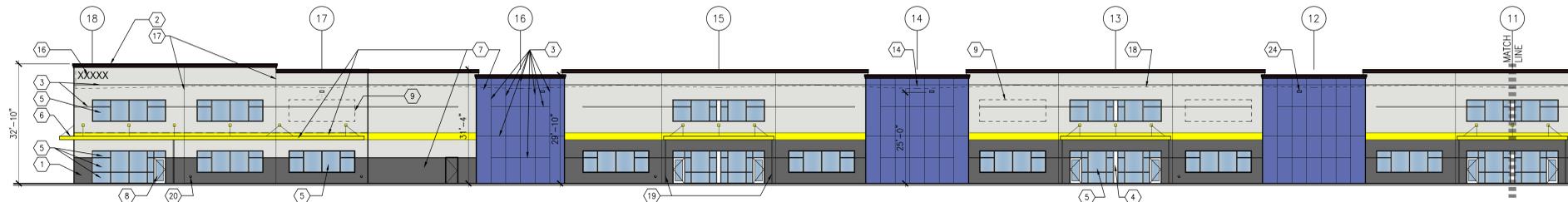
Proposed Building B for
Smartcap
Arlington Airport Industrial Park
Arlington, Washington

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ARCHITECTS
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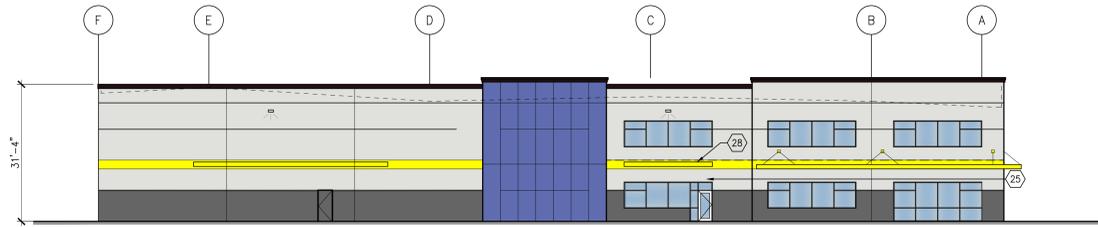
ROOF PLAN (EASTERN END), DETAILS
sheet
A2.3



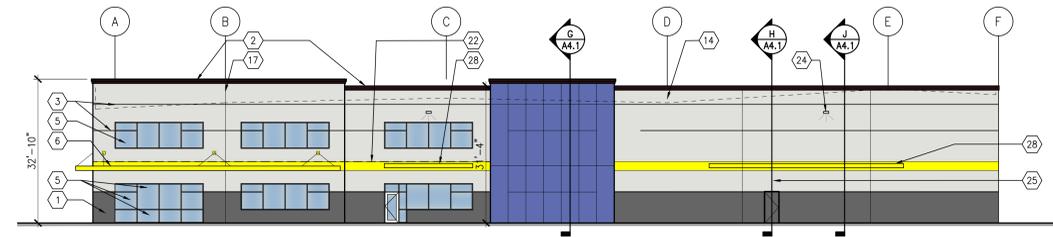
NORTH ELEVATION (WESTERN END)
Scale: 1/16"=1'-0"



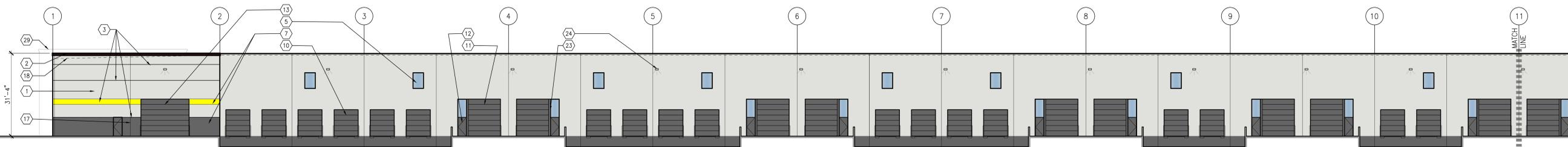
NORTH ELEVATION (EASTERN END)
Scale: 1/16"=1'-0"



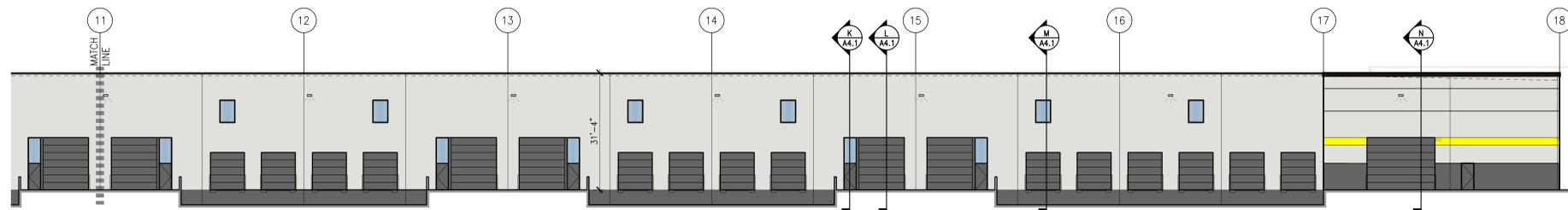
EAST ELEVATION
Scale: 1/16"=1'-0"



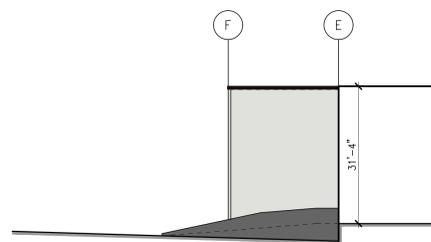
WEST ELEVATION
Scale: 1/16"=1'-0"



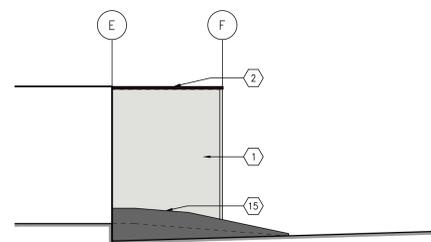
SOUTH ELEVATION (WESTERN END)
Scale: 1/16"=1'-0"



SOUTH ELEVATION (EASTERN END)
Scale: 1/16"=1'-0"



WEST ELEVATION (INSIDE CORNER AT LOADING DOCK)
Scale: 1/16"=1'-0"



EAST ELEVATION (INSIDE CORNER AT LOADING DOCK)
Scale: 1/16"=1'-0"

ELEVATION KEYNOTES

- 1 TILT-UP CONCRETE PANEL (PAINT).
- 2 PRE-FINISHED 24 GA. METAL COPING.
- 3 REVEAL (SEE WALL SECTIONS FOR TYPE).
- 4 1" INSULATED SPANDREL GLASS WITH OPACICOAT COATING ON SURFACE #2.
- 5 1" INSULATED GLASS IN CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM.
- 6 STEEL CHANNEL ACCENT FRAME/CANOPY PROJECTING 3'-11" FROM BUILDING. PAINT ACCENT COLOR.
- 7 ACCENT COLOR AT EXTERIOR CONCRETE.
- 8 3'-0"x7'-0" STOREFRONT ENTRY DOOR WITH 1"ø, 12" CENTER TO CENTER PULLS EACH DOOR.
- 9 DASHED OUTLINE FOR POTENTIAL FUTURE STOREFRONT WINDOW OPENINGS.
- 10 9'-0"x10'-0" INSULATED OVERHEAD DOOR (PAINT).
- 11 12'-0"x14'-0" INSULATED OVERHEAD DOOR (PAINT).
- 12 3'-0"x7'-0" INSULATED HOLLOW METAL MAN DOOR (PAINT).
- 13 20'-0"x14'-0" INSULATED OVERHEAD DOOR (PAINT).
- 14 SCUPPER BOX WITH 6" STEEL DOWNSPOUT (TIGHTLINE PER CIVIL DRAWINGS).
- 15 CONCRETE RETAINING WALL AT DRIVE IN DOOR RAMP.
- 16 BUILDING ADDRESS IN 24" HIGH BOLD NUMERALS PAINTED ON BUILDING WITH CONTRASTING COLORS TO MAIN BODY COLOR. LOCATE AS DIRECTED BY FIRE DEPARTMENT.
- 17 TILT-UP CONCRETE PANEL JOINT.
- 18 LINE OF ROOF BEYOND.
- 19 3" ROUND DOWNSPOUT FROM CANOPY ABOVE (TIGHTLINE).
- 20 BRONZE COWS TONGUE FOR ROOF DRAIN OVERFLOW. SEE 6/A2.3.
- 21 THROUGH WALL ROOF DRAIN OVERFLOW. MINIMUM 8" HIGH x 16" WIDE.
- 22 LINE OF POTENTIAL FUTURE MEZZANINE FLOOR LEVEL.
- 23 REMOVABLE 8"x6" TUBE STEEL COLUMN TO CREATE POTENTIAL FUTURE 16'-0" WIDE X 14'-0" HIGH OPENING. PROVIDE TRANSPARENT WINDOW ABOVE MAN DOOR.
- 24 LED SHOEBOX LIGHT FIXTURE. WALL MOUNT ON ARM WITH DOWNWARD CAST LENS. TYPICAL OF (29) LOCATIONS.
- 25 LED COMPACT MAN DOOR LIGHT FIXTURE. TYPICAL OF (9) LOCATIONS.
- 26 BUILDING MASTER KEY SECURED IN KNOX BOX 3200 SERIES. LOCATE ADJACENT TO STRIKE SIDE OF SPRINKLER RISER ACCESS DOOR.
- 27 "SPRINKLER RISER ROOM" & "FIRE ALARM CONTROL ROOM" SIGNAGE POSTED ON DOOR IN 1" HIGH WHITE LETTER ON RED BACKGROUND.
- 28 STEEL CHANNEL ACCENT FRAME PROJECTING 18" FROM BUILDING. PAINT ACCENT COLOR.
- 29 OUTLINE OF BUILDING IN BACKGROUND.

19-063
JOB NO.
HAROLD C.
OWNER

3384 REGISTERED ARCHITECT
Smartcap
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AR C H I T E C T S A I A

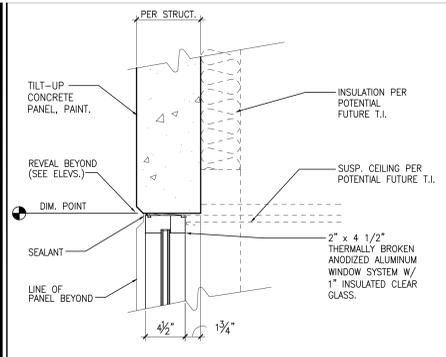
Proposed Building B for
Smartcap
Arlington Airport Industrial Park
Arlington, Washington

EXTERIOR ELEVATION

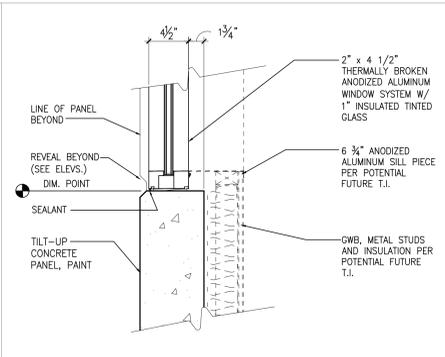
LANGE MUELLER & ASSOCIATES

sheet

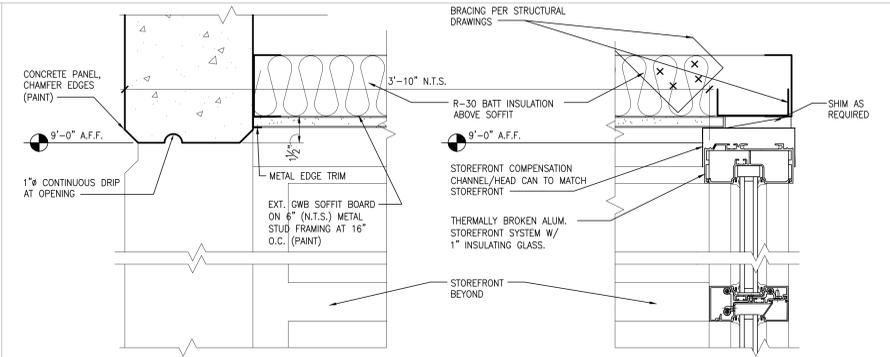
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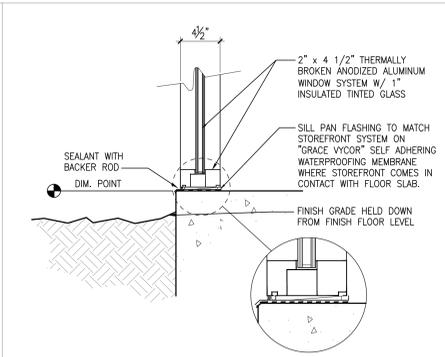
1 WINDOW HEAD
Scale: 1 1/2"=1'-0"



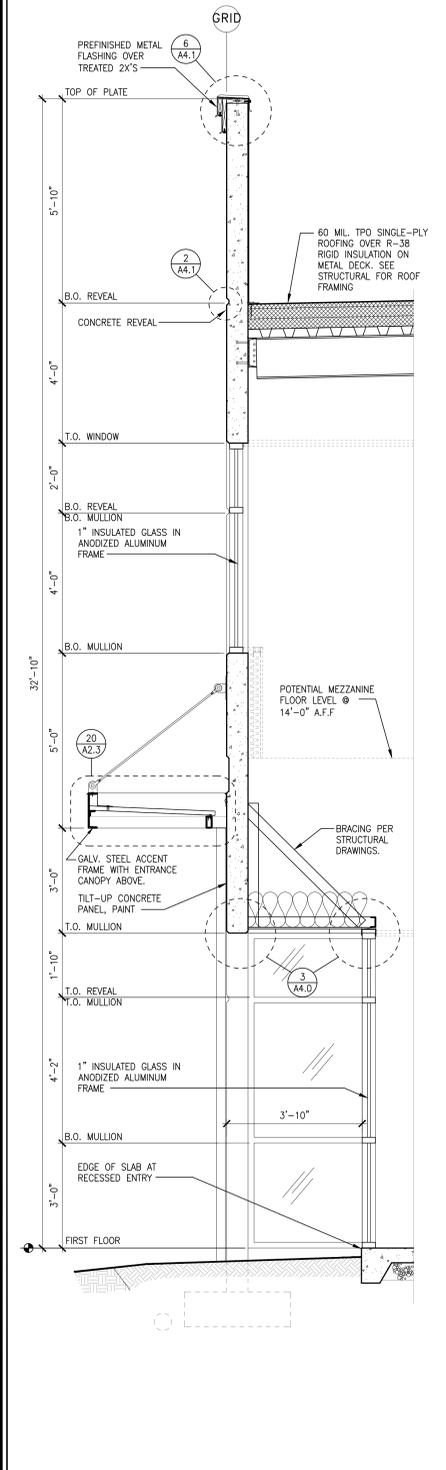
2 WINDOW SILL
Scale: 1 1/2"=1'-0"



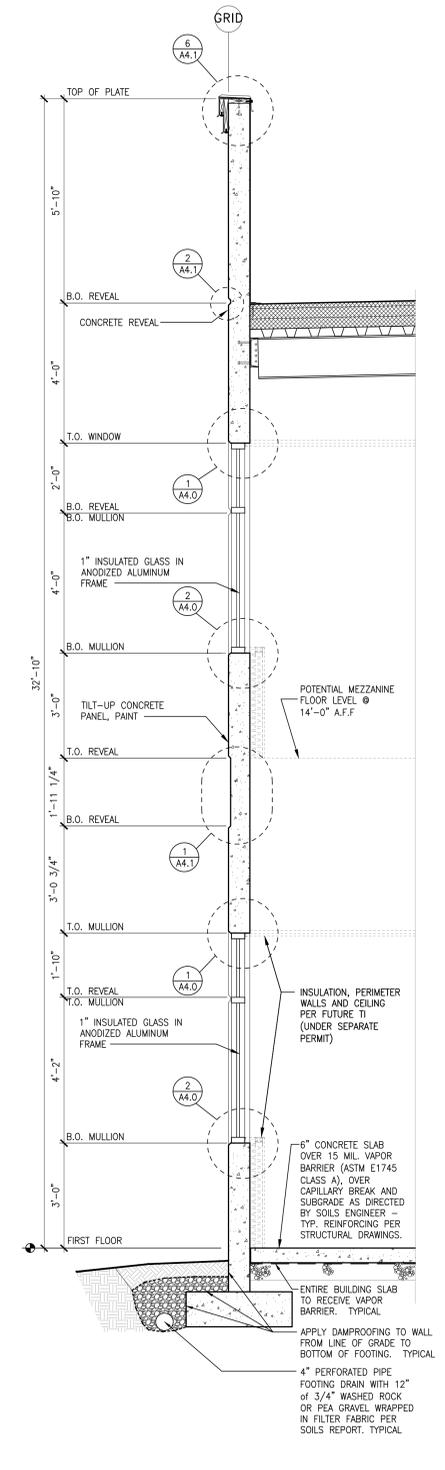
3 SOFFIT AT ENTRIES
Scale: 3"=1'-0"



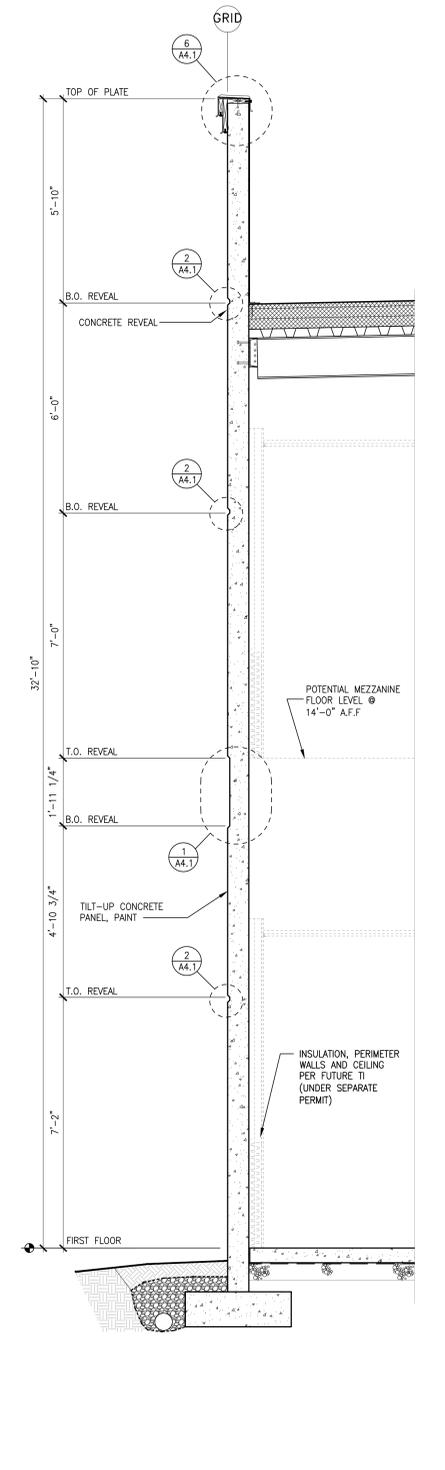
5 WINDOW SILL AT FLOOR SLAB
Scale: 1 1/2"=1'-0"



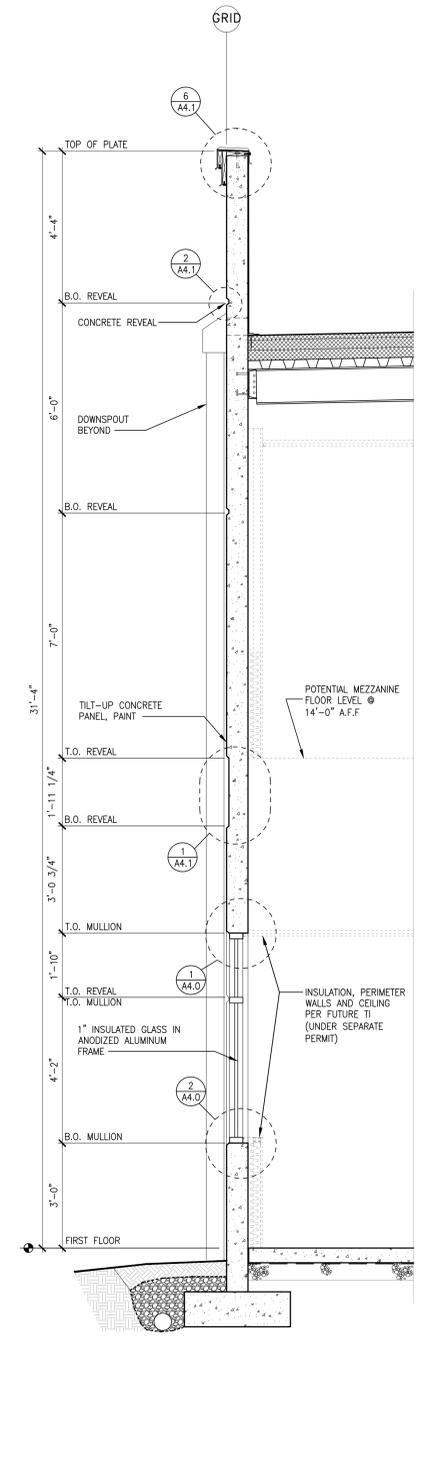
A WALL SECTION
SCALE: 1/2" = 1'-0"



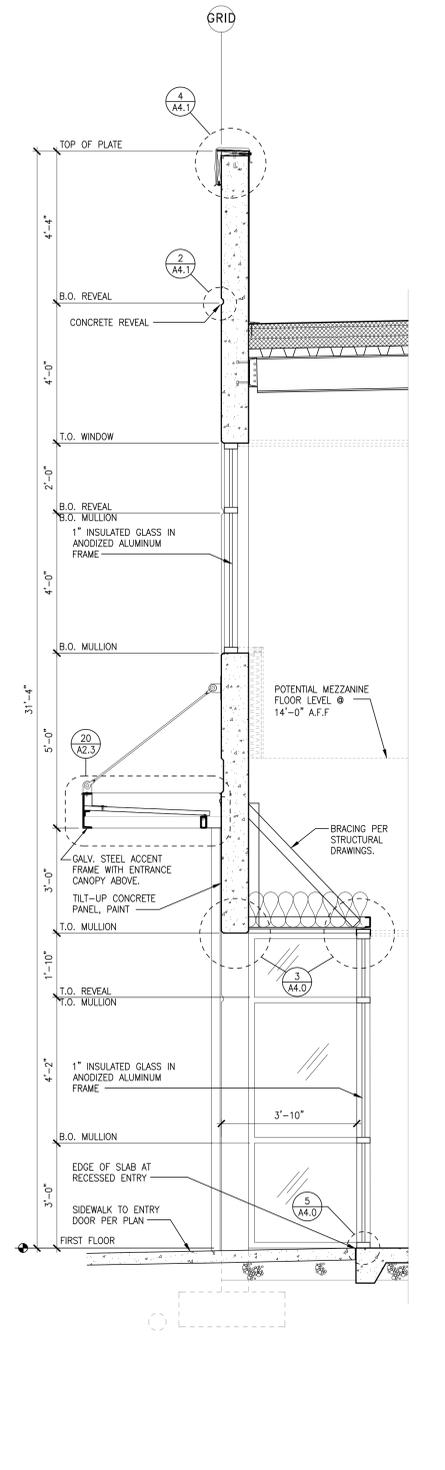
B WALL SECTION
SCALE: 1/2" = 1'-0"



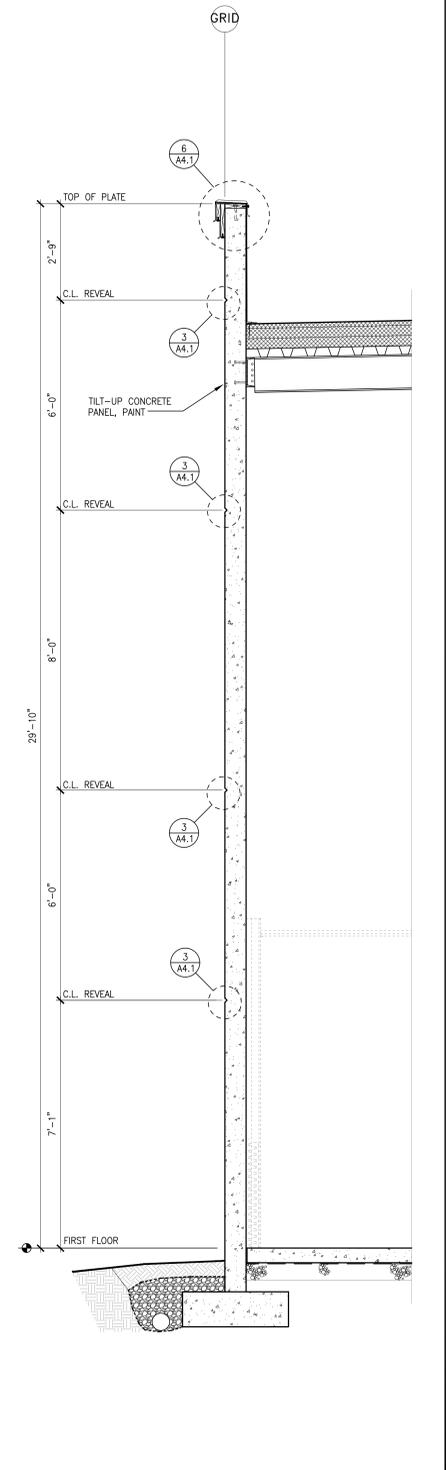
C WALL SECTION
SCALE: 1/2" = 1'-0"



D WALL SECTION
SCALE: 1/2" = 1'-0"



E WALL SECTION
SCALE: 1/2" = 1'-0"



F WALL SECTION
SCALE: 1/2" = 1'-0"

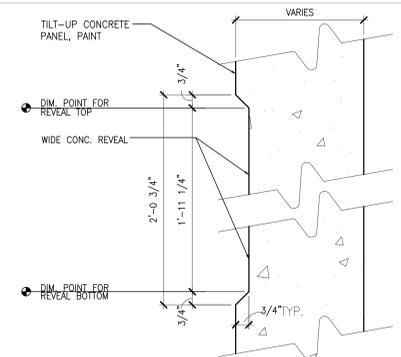
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Proposed Building B for
Smartcap
Arlington Airport Industrial Park
Arlington, Washington

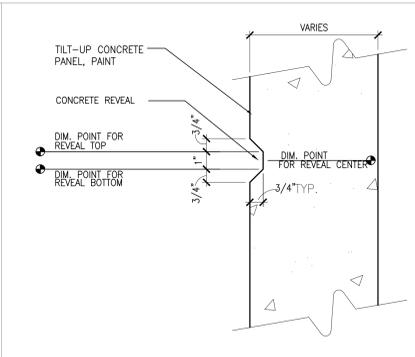
2396 REGISTERED ARCHITECT
LANDE MUELLER & ASSOCIATES
ARCHITECTS
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19-063 JOB NO.
HAROLD C OWNER
DATE
19-063 SHEET NO.
PERMIT APPLICATION SET

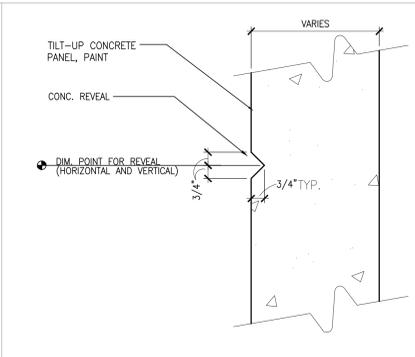
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A4.0



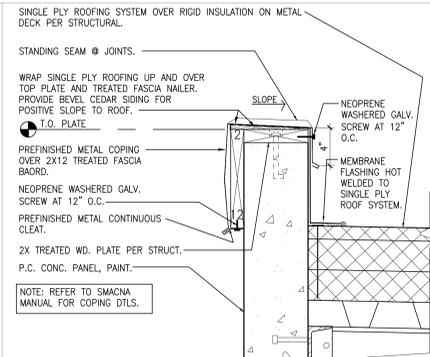
1 ACCENT REVEAL
Scale: 3" = 1'-0"



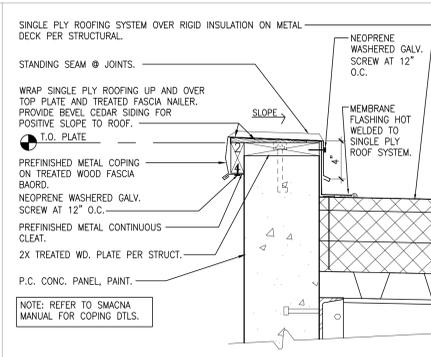
2 REVEAL
Scale: 3" = 1'-0"



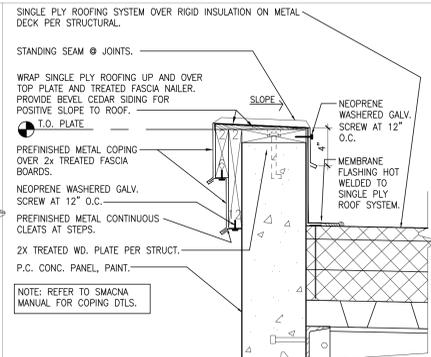
3 "V" REVEAL
Scale: 3" = 1'-0"



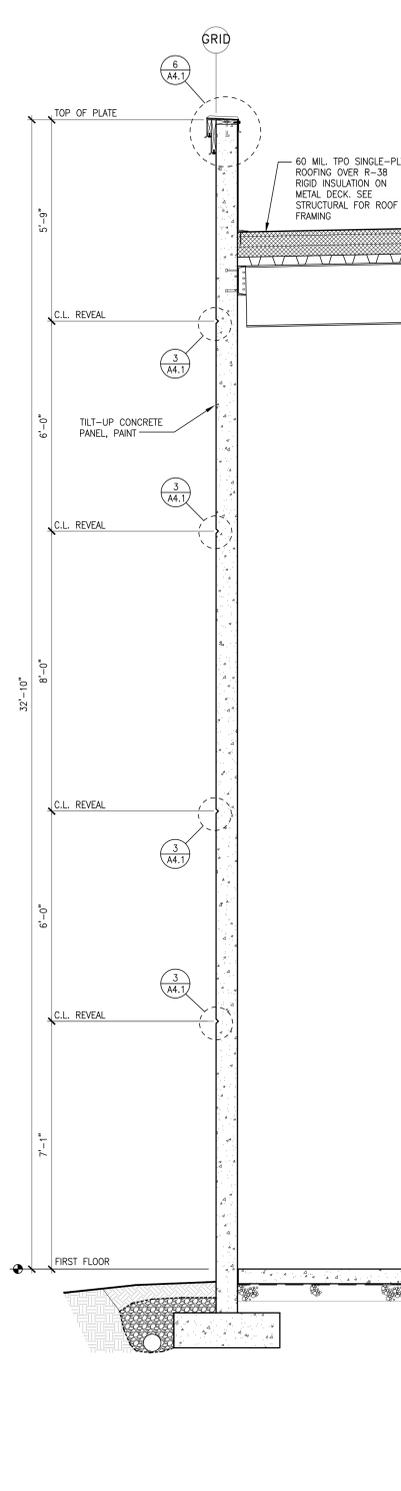
4 CAP FLASHING
Scale: 1 1/2" = 1'-0"



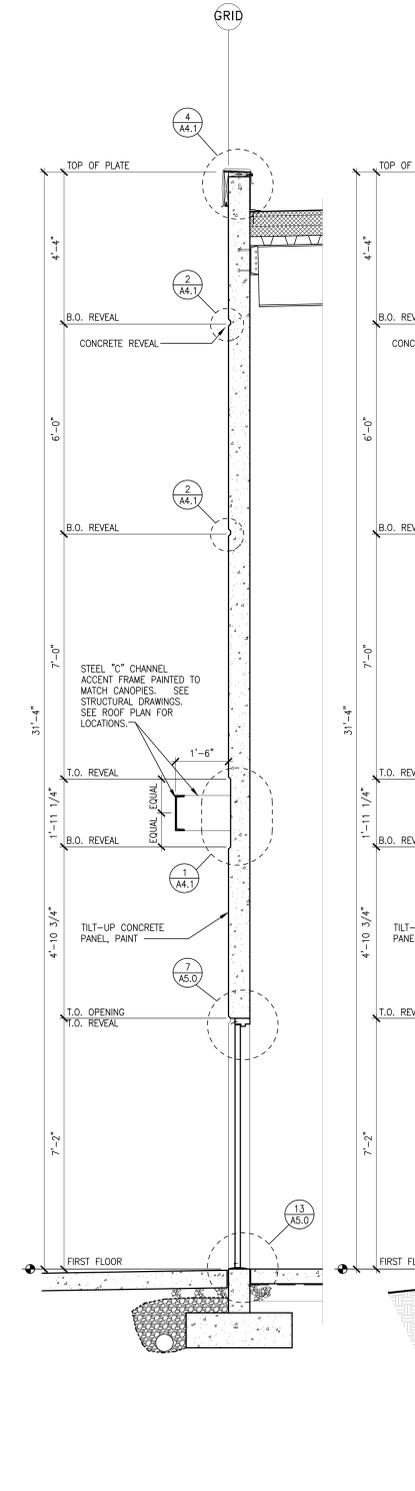
5 CAP FLASHING
Scale: 1 1/2" = 1'-0"



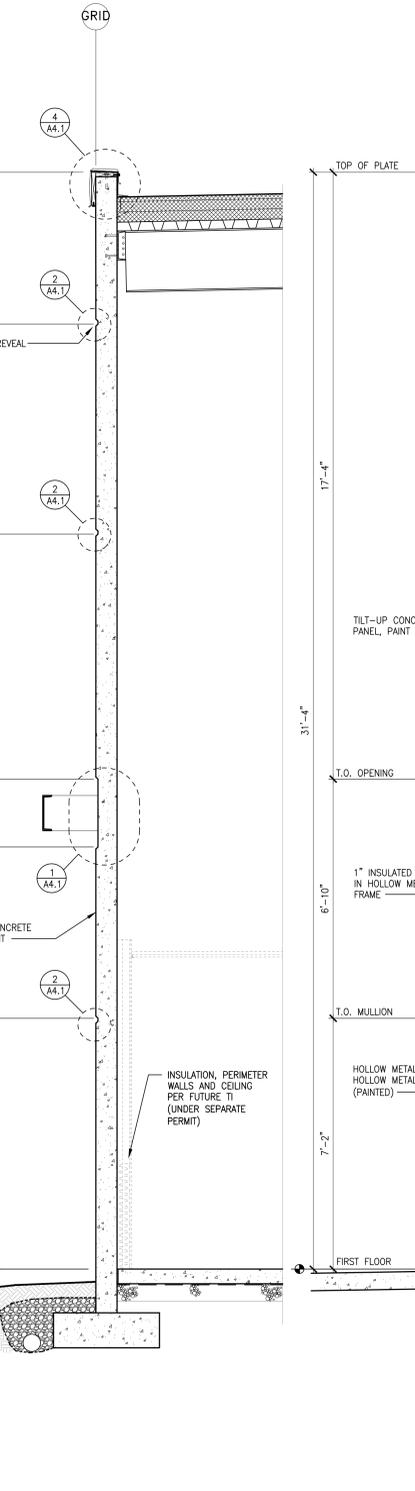
6 CAP FLASHING
Scale: 1 1/2" = 1'-0"



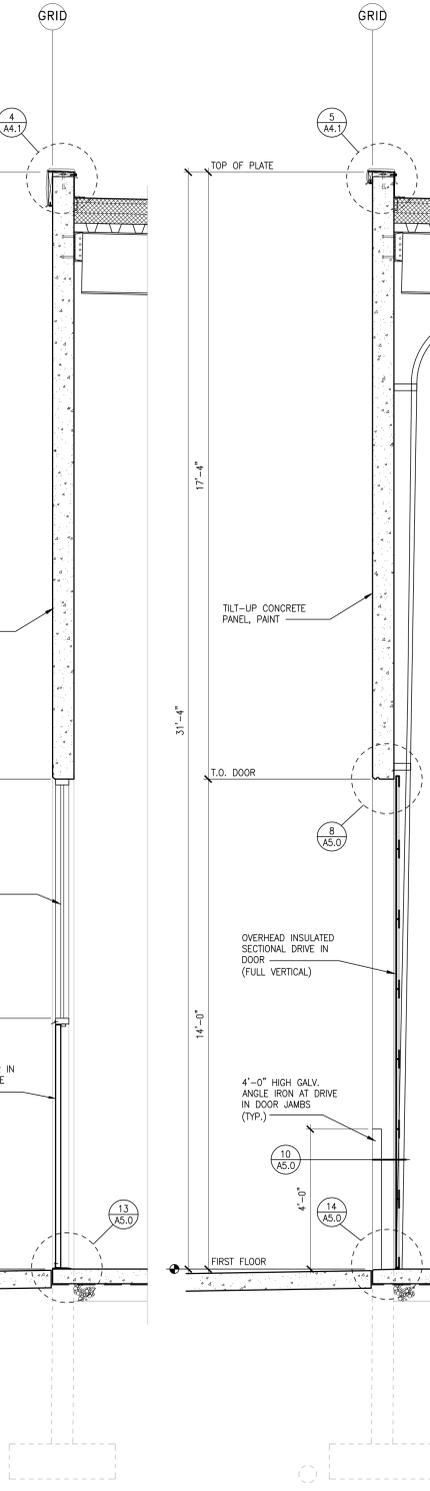
G WALL SECTION
Scale: 1/2" = 1'-0"



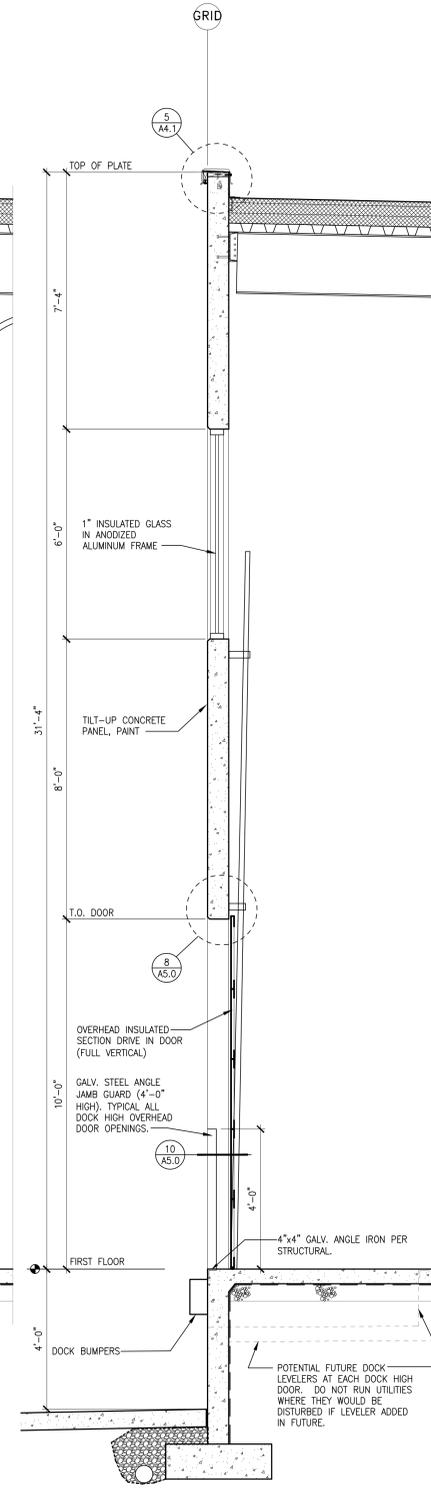
H WALL SECTION
Scale: 1/2" = 1'-0"



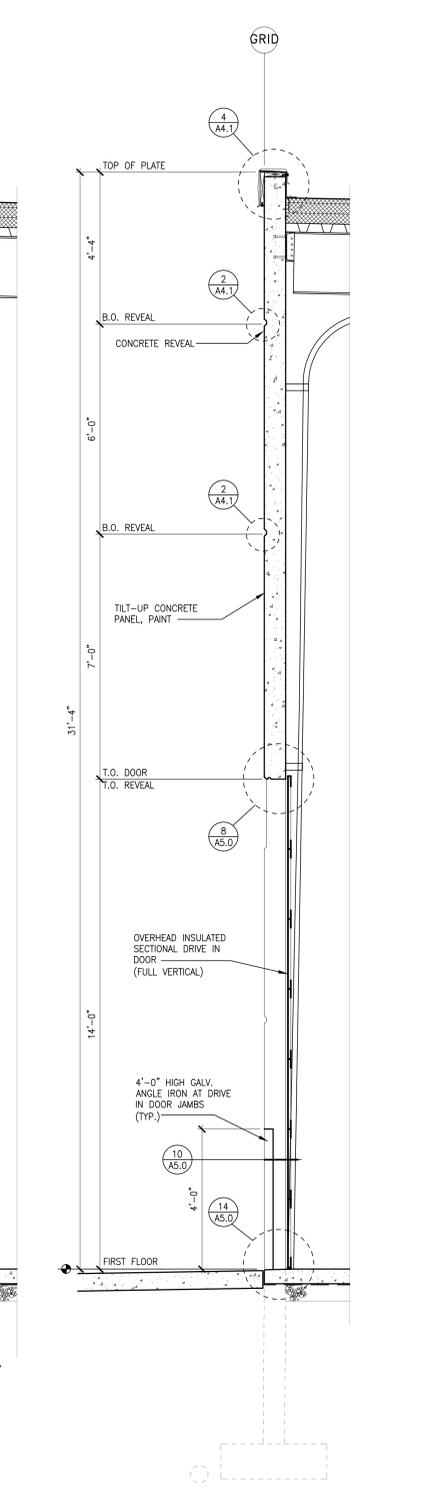
J WALL SECTION
Scale: 1/2" = 1'-0"



K WALL SECTION
Scale: 1/2" = 1'-0"

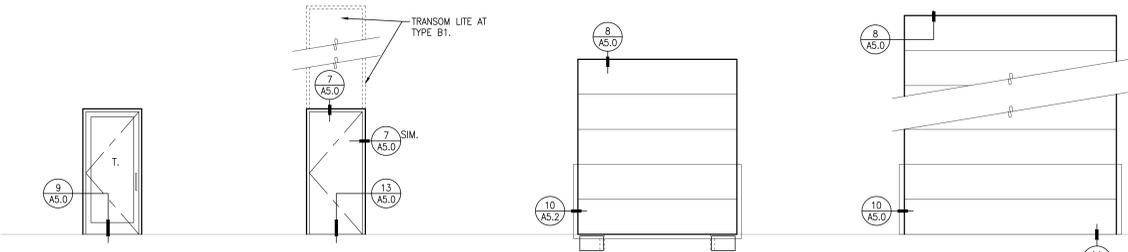


L WALL SECTION
Scale: 1/2" = 1'-0"



M WALL SECTION
Scale: 1/2" = 1'-0"

19-063 JOB NO. HAROLD C OWNER
2396 REGISTERED ARCHITECT STATE OF WASHINGTON
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A4.1
Proposed Building B for Smartcap Arlington Airport Industrial Park
Arlington, Washington
FERRY APPLICATION SET



- 1** 3'-0" x 7'-0" STOREFRONT DOOR W/ ANOD. ALUM. FRAME W/ 1" INSULATED TINTED GLASS IN THERMALLY BROKEN ALUMINUM FRAME. PROVIDE LOCK RELEASE HANDLE AT INTERIOR OF EACH DOOR. (U=0.60, SHGC=0.40)
- 2** 3'-0" x 7'-0" INSULATED HOLLOW METAL DOOR W/ H.M. FRAME. (U=0.37)
- 3** 9'-0" x 10'-0" INSULATED OVERHEAD SECTIONAL DOOR. (R=10 MIN., U=0.17)
- 4** 12'-0" x 14'-0" INSULATED OVERHEAD SECTIONAL DOOR. PROVIDE CHAIN HOIST. (R=10 MIN., U=0.17)
- 5** 12'-0" x 18'-0" INSULATED OVERHEAD SECTIONAL DOOR. PROVIDE CHAIN HOIST. (R=10 MIN., U=0.17)

DOOR NOTES

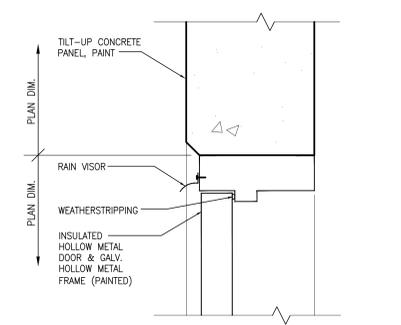
- ALL DOOR HARDWARE TO COMPLY WITH I.B.C. SECTION 1010, ICC/ANSI 117.1 STANDARDS.
- PROVIDE INTERNATIONAL SYMBOL OF ACCESS SIGNAGE AT EACH ACCESSIBLE ENTRANCE DOOR.
- ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT PER I.B.C. SECTION 1010.1.9
- PROVIDE SAFETY GLAZING PER DRAWINGS AND I.B.C. SECTION 2406. T= TEMPERED GLAZING.
- OVERHEAD SECTIONAL DOORS TO BE R-10 MINIMUM.
- HOLLOW METAL MAN DOORS TO BE U-0.37 OR BETTER.

DOOR HARDWARE TYPES

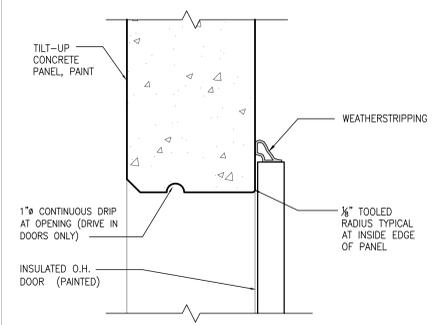
- #1** INTERIOR PADDLE RELEASE 12" C.T.C. PULLS AT EXTERIOR WEATHER GASKET SET SWEEPS THRESHOLD CLOSER
- #2** LEVER LOCKSET WEATHER GASKET SET CLOSER THRESHOLD RAIN VISOR
- #3** PANIC HARDWARE WEATHER GASKET SET CLOSER THRESHOLD RAIN VISOR

DOOR SCHEDULE

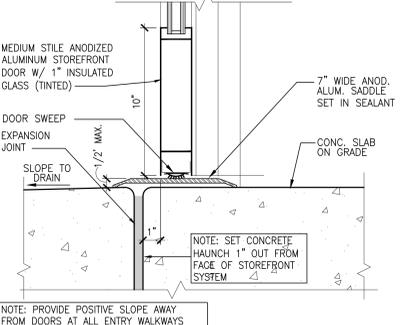
DOOR NO.	TYPE	DESCRIPTION	DOOR		FRAME		HARDWARE GROUP	RATING	SIGNAGE/REMARKS
			MAT.	FIN.	MAT.	FIN.			
BUILDING B									
1	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
2	B	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	3	-	SIGNAGE PER PLANS
3	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
4	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
5	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
6	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
7	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
8	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
9	B	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	3	-	SIGNAGE PER PLANS
10	B	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	3	-	SIGNAGE PER PLANS
11	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
12	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
13	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
14	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
15	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
16	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
17	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
18	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
19	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SUITE ENTRY
20	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SECONDARY SUITE ENTRY
21	B	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
22	B	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
23	B	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
24	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
25	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
26	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
27	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
28	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
29	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
30	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
31	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
32	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
33	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
34	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
35	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
36	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
37	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
38	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
39	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
40	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
41	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
42	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
43	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
44	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
45	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
46	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
47	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
48	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
49	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
50	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
51	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
52	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
53	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
54	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
55	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
56	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
57	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
58	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
59	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
60	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
61	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
62	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
63	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
64	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
65	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
66	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
67	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
68	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
69	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
70	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
71	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
72	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
73	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
74	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
75	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
76	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
77	B1	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
78	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
79	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
80	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
81	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
82	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
83	C	9'-0" x 10'-0"	STEEL	PAINT	STEEL	PAINT	-	-	
84	D	12'-0" x 14'-0"	STEEL	PAINT	STEEL	PAINT	-	-	CHAIN HOIST OPERATION
85	B	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
86	B	3'-0" x 7'-0"	H.M.	PAINT	H.M.	PAINT	2	-	
87	A	3'-0" x 7'-0"	ALUM./GLS.	FACT.	ALUM.	FACT.	1	-	SECONDARY SUITE ENTRY



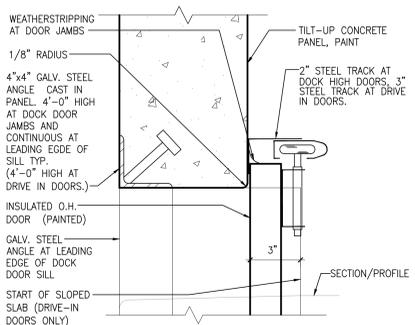
7 H.M. DOOR HEAD (JAMB SIM.)
Scale: 3"=1'-0"



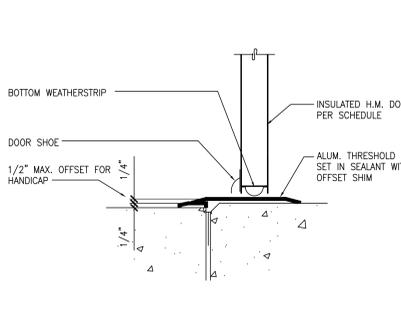
8 OVERHEAD DOOR HEAD
Scale: 3"=1'-0"



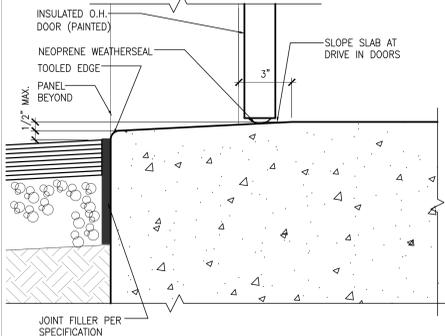
9 STOREFRONT DOOR SILL
Scale: 3"=1'-0"



10 OVERHEAD DOOR JAMB
Scale: 3"=1'-0"



13 H.M. DOOR SILL
Scale: 3"=1'-0"

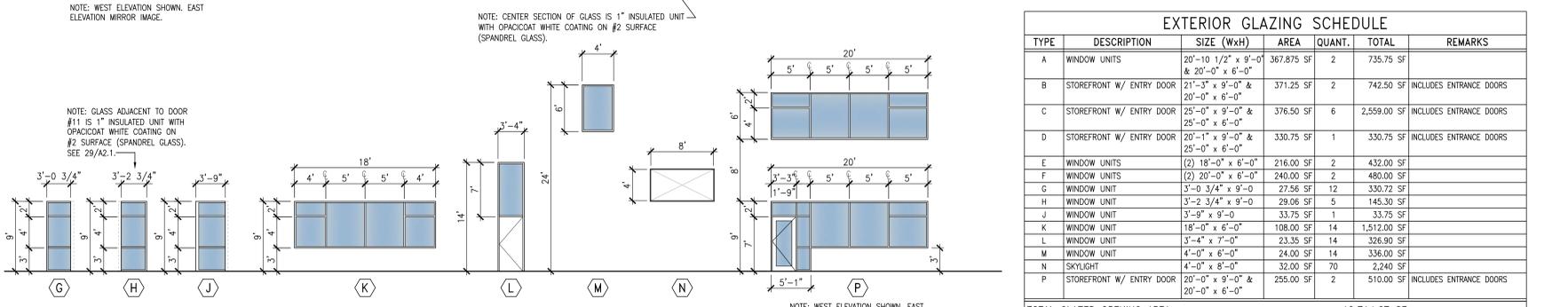
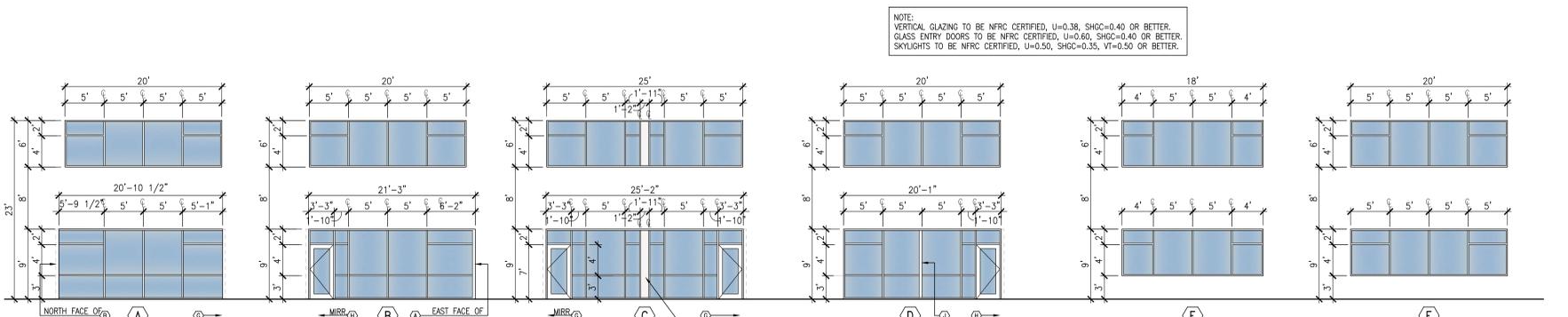


14 OVERHEAD DOOR JAMB
Scale: 3"=1'-0"

NOTE: PROVIDE POSITIVE SLOPE AWAY FROM DOORS AT ALL ENTRY WALKWAYS (TYPICAL)

NOTE: SET CONCRETE HAUNCH 1" OUT FROM FACE OF STOREFRONT SYSTEM

NOTE: VERTICAL GLAZING TO BE NFRC CERTIFIED, U=0.38, SHGC=0.40 OR BETTER. GLASS ENTRY DOORS TO BE NFRC CERTIFIED, U=0.60, SHGC=0.40 OR BETTER. SKYLIGHTS TO BE NFRC CERTIFIED, U=0.50, SHGC=0.35, VT=0.50 OR BETTER.



25 WINDOW SCHEDULE
Scale: 1/8" = 1'-0"

TYPE	DESCRIPTION	SIZE (WxH)	AREA	QUANT.	TOTAL	REMARKS
A	WINDOW UNITS	20'-10 1/2" x 9'-0" & 20'-0" x 6'-0"	367.875 SF	2	735.75 SF	
B	STOREFRONT W/ ENTRY DOOR	21'-3" x 9'-0" & 20'-0" x 6'-0"	371.25 SF	2	742.50 SF	INCLUDES ENTRANCE DOORS
C	STOREFRONT W/ ENTRY DOOR	25'-0" x 9'-0" & 25'-0" x 6'-0"	376.50 SF	6	2,259.00 SF	INCLUDES ENTRANCE DOORS
D	STOREFRONT W/ ENTRY DOOR	20'-1" x 9'-0" & 25'-0" x 6'-0"	330.75 SF	1	330.75 SF	INCLUDES ENTRANCE DOORS
E	WINDOW UNITS	(2) 18'-0" x 6'-0"	216.00 SF	2	432.00 SF	
F	WINDOW UNITS	(2) 20'-0" x 6'-0"	240.00 SF	2	480.00 SF	
G	WINDOW UNIT	3'-0 3/4" x 9'-0"	27.56 SF	12	330.72 SF	
H	WINDOW UNIT	3'-2 3/4" x 9'-0"	29.06 SF	5	145.30 SF	
J	WINDOW UNIT	3'-9" x 9'-0"	33.75 SF	1	33.75 SF	
K	WINDOW UNIT	18'-0" x 6'-0"	108.00 SF	14	1,512.00 SF	
L	WINDOW UNIT	3'-4" x 7'-0"	23.39 SF	14	327.46 SF	
M	WINDOW UNIT	4'-0" x 6'-0"	24.00 SF	14	336.00 SF	
N	SKYLIGHT	4'-0" x 8'-0"	32.00 SF	70	2,240 SF	
P	STOREFRONT W/ ENTRY DOOR	20'-0" x 9'-0" & 20'-0" x 6'-0"	255.00 SF	2	510.00 SF	INCLUDES ENTRANCE DOORS
TOTAL GLAZED OPENING AREA					10,714.67 SF	

19-063
HAROLD C.
REGISTERED ARCHITECT
STATE OF WASHINGTON
1300 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2533

Proposed Building B for
Smartcap
Arlington Airport Industrial Park
Arlington, Washington

DOOR TYPES & SCHEDULE
LANGE MUELLER & ASSOCIATES
ARCHITECTS
sheet

A5.0