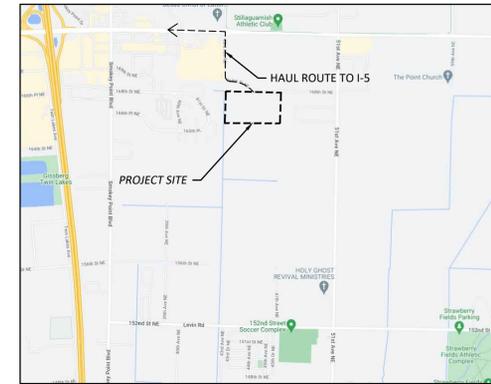


A PORTION OF THE SW 1/4, NE 1/4 & NORTH 1/2 & SE 1/4, SE 1/4, SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

# WILLIAMS INVESTMENTS COMMERCIAL PARK

## ARLINGTON BINDING SITE PLAN

### 16430 51ST AVE NE ARLINGTON, WA 98223



VICINITY MAP  
NTS



#### OWNER

5J DEVELOPMENT, LLC  
2517 COLBY AVE  
EVERETT, WA 98201  
425.750.7926  
CONTACT: RYAN KILBY

#### CONSULTANTS

**ARCHITECT**  
THE RONHOLDE ARCHITECTS LLC  
14900 INTERURBAN AVE SOUTH SUITE 138  
TUKWILA, WA 981618  
206.859.5500 FAX: 206.859.5501  
CONTACT: LES SEIFERT

**CIVIL ENGINEER**  
CG ENGINEERING  
250 4TH AVE S, SUITE 200  
EDMONDS, WA 98020  
425.778.8500 FAX 778.5536  
CONTACT: JARED UNDERBRINK, PE

**SOIL/GEOTECH ENGINEER**  
GEOENGINEERS  
554 W BAKERVIEW ROAD  
BELLINGHAM, WA 98226  
360.647.1510  
CONTACT: BRIDGET AUGUST

#### LEGAL DESCRIPTION

THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN.

EXCEPT THAT PORTION CONVEYED TO CITY OF ARLINGTON BY DEED RECORDED UNDER AUDITOR'S FILE NO. 202108170442, AND CORRECTION DEED RECORDED UNDER AUDITOR'S FILE NO. 202112070922, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

#### BENCHMARK

B.M.:  
FOUND MON IN CASE; 3" BRASSIE  
W/4" DOWN 0.40 (E 1/4 COR. SEC. 28)  
04/27/20

ELEV. = 118.28

#### DATUM

NAVD 88

#### ASSESSOR'S PARCEL NUMBERS

31052800100700

#### UTILITIES

**WATER/SEWER/STORM**  
CITY OF ARLINGTON  
238 N OLYMPIC AVE  
ARLINGTON, WA 98223

**NATURAL GAS**  
CASCADE NATURAL GAS

**POWER**  
SNOHOMISH PUD  
210 E DIVISION ST  
ARLINGTON, WA 98223

**TELEPHONE**  
COMCAST

#### SHEET INDEX

C1.1A	COVER SHEET & SITE PLAN
C1.2A	GENERAL NOTES
C2.1A	TEMPORARY EROSION CONTROL PLAN BLOCK A
C2.2A	TEMPORARY EROSION CONTROL DETAILS BLOCK A
C3.1A	OVERALL GRADING & DRAINAGE PLAN BLOCK A
C3.2A	PARTIAL GRADING & DRAINAGE PLAN BLOCK A
C3.3A	PARTIAL GRADING & DRAINAGE PLAN BLOCK A
C3.4A	CATCH BASIN SCHEDULE BLOCK A
C3.5A	GRADING & DRAINAGE DETAILS BLOCK A
C3.6A	GRADING & DRAINAGE DETAILS BLOCK A
C4.1A	OVERALL WATER & SEWER PLAN BLOCK A
C4.2A	PARTIAL WATER & SEWER PLAN BLOCK A
C4.3A	PARTIAL WATER & SEWER PLAN BLOCK A
C4.4A	WATER DETAILS BLOCK A
C4.5A	WATER DETAILS BLOCK A
C4.6A	SEWER DETAILS BLOCK A
C4.7A	WATER PROFILE BLOCK A
C4.8A	WATER PROFILE BLOCK A
C4.9A	SEWER PROFILES BLOCK A
C5.1A	OVERALL SITE IMPROVEMENT PLAN BLOCK A
C5.2A	STREET IMPROVEMENT PLAN 168TH STREET NE
C5.3A	STREET IMPROVEMENT PLAN 47TH AVE NE
C5.4A	SITE IMPROVEMENT DETAILS BLOCK A
C6.1A	FIRE ACCESS STUDY

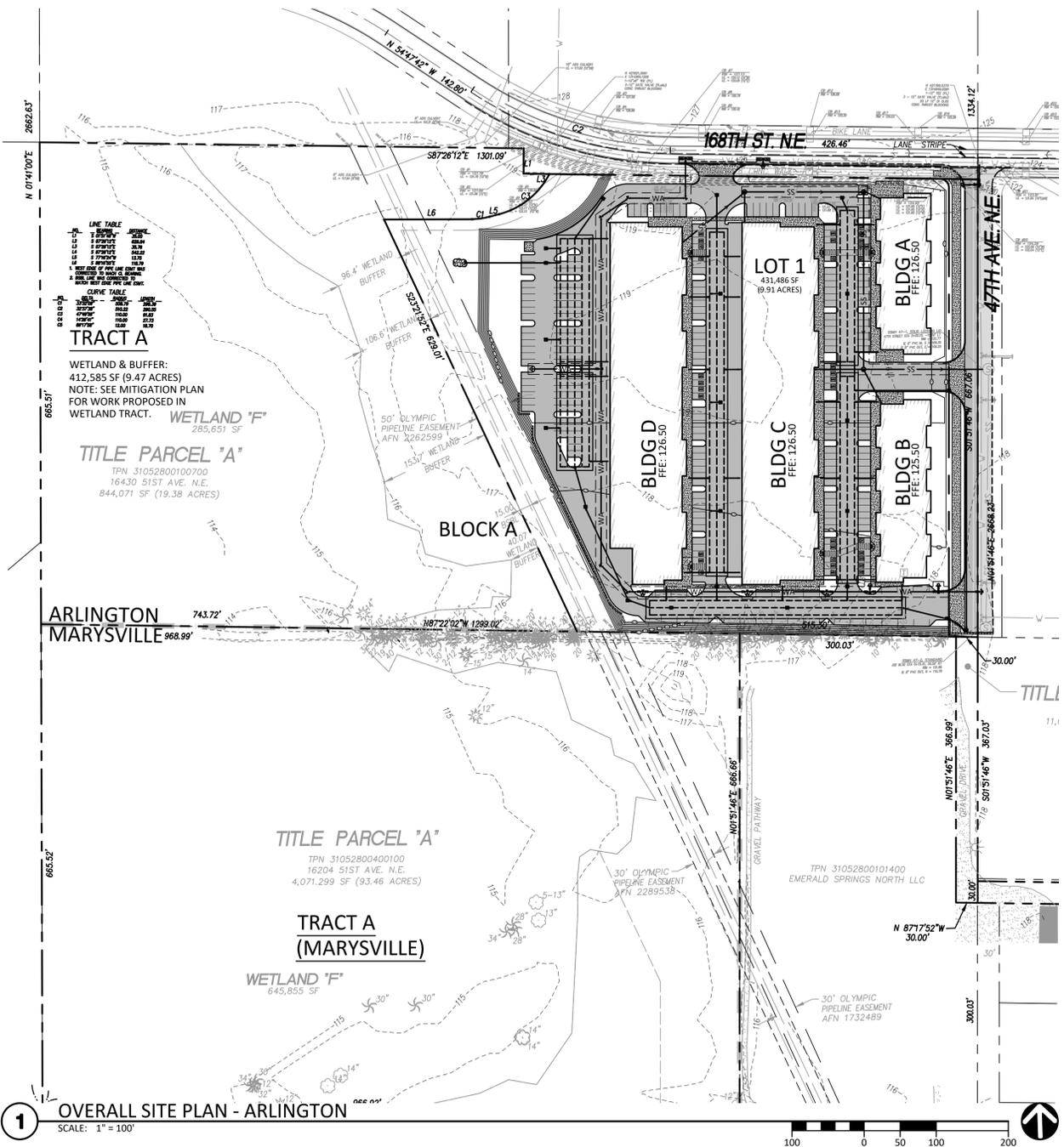
#### LEGEND

DESCRIPTION	EXISTING	PROPOSED	ABBREVIATIONS	
PROPERTY LINE	---	---	ABN	ABANDONED
ADJACENT PROPERTY LINE	---	---	BLDG	BUILDING
CENTERLINE	---	---	BOW	BOTTOM OF WALL
CLEARING LIMITS	---	---	CL	CENTERLINE
SILT FENCE	---	---	CB	CATCH BASIN
CONTOUR LINE	---	---	CMP	CORRUGATED METAL PIPE
FENCE	---	---	CO	CLEANOUT
SANITARY SEWER LINE	---	---	CONC	CONCRETE
MANHOLE	---	---	CONST	CONSTRUCTION
STORM DRAIN MAIN	---	---	CP	CONCRETE PIPE
STORM DRAIN PIPE	---	---	CU YD	CUBIC YARD
ROOF DRAIN	---	---	DDCVA	DOUBLE DETECTOR CHECK VALVE ASSEMBLY
FOOTING DRAIN	---	---	DI	DUCTILE IRON PIPE
PRESSURE LINE	---	---	DIA	DIAMETER
CATCH BASIN (TYPE 1)	---	---	DIP	DUCTILE IRON PIPE
CATCH BASIN (TYPE 2)	---	---	EA	EACH
CLEANOUT	---	---	EJ	EXPANSION JOINT
CLEANOUT AND WYE	---	---	ELEV	ELEVATION
GRADE BREAK	---	---	EOP	EDGE OF PAVEMENT
SURFACE SWALE	---	---	EX	EXISTING
DRAINAGE ARROW	---	---	FDC	FIRE DEPT. CONNECTION
WATER LINE	---	---	FFE	FINISHED FLOOR ELEVATION
WATER METER	---	---	FH	FIRE HYDRANT
FIRE HYDRANT	---	---	FL	FLANGE
FDC	---	---	FT	FEET/FOOT
PIV	---	---	GV	GATE VALVE
GATE VALVE	---	---	HP	HIGH POINT
TEE	---	---	HT	HEIGHT
90° BEND	---	---	ID	INSIDE DIAMETER
THRUST BLOCKING	---	---	IE	INVERT ELEVATION
CAP	---	---	L	LENGTH/LINE
CONCRETE PAVEMENT	---	---	LCPE	LINED CORRUGATED POLYETHYLENE PIPE
ASPHALT PAVEMENT	---	---	LF	LINEAL FOOT
CRUSHED SURFACING	---	---	LP	LOW POINT
ROCKERY	---	---	LT	LEFT
SPOT ELEVATION	---	---	MAX	MAXIMUM
TELEPHONE LINE	---	---	MECH	MECHANICAL
POWER LINE	---	---	MH	MANHOLE
GAS LINE	---	---		
SIGN	---	---		



**CAUTION!**  
**CALL BEFORE YOU DIG!**  
BURIED UTILITIES EXIST IN THE AREA AND UTILITY INFORMATION SHOWN MAY NOT BE COMPLETE. CONTACT THE ONE-CALL UTILITY LOCATE SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.  
**1-800-424-5555**

**CITY OF ARLINGTON**  
**CONSTRUCTION DRAWING REVIEW ACKNOWLEDGMENT**  
THIS PLAN HAS BEEN REVIEWED AND EVALUATED FOR GENERAL COMPLIANCE WITH THE CITY OF ARLINGTON CODES AND ORDINANCES. CONFORMANCE OF THE DESIGN WITH ALL APPLICABLE LAWS AND REGULATIONS IS THE FULL AND COMPLETE RESPONSIBILITY OF THE LICENSED DESIGN ENGINEER WHOSE STAMP AND SIGNATURE APPEAR ON THIS SHEET. ACKNOWLEDGEMENT OF CONSTRUCTION DRAWING REVIEW DOES NOT IMPLY CITY APPROVAL FOR CONSTRUCTION ACTIVITIES THAT REQUIRE OTHER COUNTY, STATE OR FEDERAL PERMIT REVIEW AND APPROVAL. THE PROPERTY OWNER AND LICENSED DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE ACQUISITION AND COMPLIANCE OF ALL APPLICABLE PERMITS AND/OR AUTHORIZATION WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, WSDOFW HYDRAULIC PROJECT APPROVAL (HPA), WSDOE NOTICE OF INTENT (NOI), ARMY CORP OF ENGINEERS FILL PERMITS AND THE REQUIREMENTS OF THE (NOI), ENDANGERED SPECIES ACT.  
BY: Nova Heaton, PE, Development Services Manager DATE: \_\_\_\_\_  
THESE APPROVED CONSTRUCTION PLANS EXPIRE AFTER 18 MONTHS FROM THE DATE SHOWN ABOVE OR UPON EXPIRATION OF PRELIMINARY PLAN RO SITE PLAN APPROVAL.



1 OVERALL SITE PLAN - ARLINGTON  
SCALE: 1" = 100'

MARK	DATE	DESCRIPTION
	09/05/23	PERMIT SUBMITTAL

DESIGN: NAT  
DRAWN: ATD  
CHECK: JPU  
JOB NO: 20084.20  
DATE: 09/05/23

WILLIAMS INVESTMENTS COMMERCIAL PARK  
ARLINGTON BINDING SITE PLAN  
16430 51ST AVE NE  
ARLINGTON, WA 98223  
COVER SHEET AND  
SITE PLAN

SHEET:  
**C1.1A**



A PORTION OF THE SW 1/4, NE 1/4 & NORTH 1/2 & SE 1/4, SE 1/4, SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



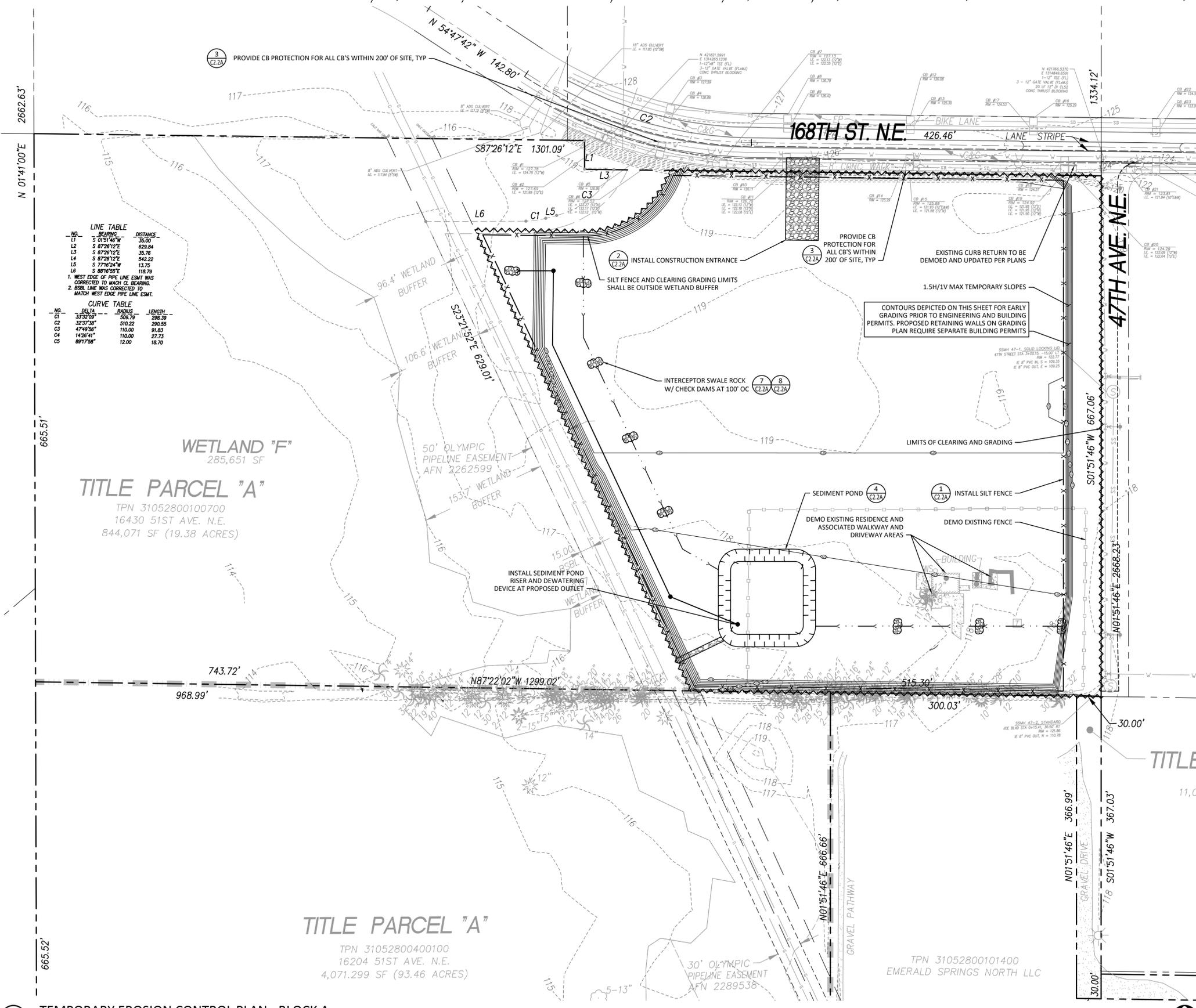
**CONSTRUCTION SEQUENCE NOTES:**

- SCHEDULE A PRE-CONSTRUCTION MEETING WITH CITY OF ARLINGTON PUBLIC WORKS.
- REVIEW TEMPORARY EROSION AND SEDIMENT CONTROL NOTES.
- CALL FOR UTILITY LOCATES.
- INSTALL TESC MEASURES AND MAINTAIN DUST CONTROL WHILE PREVENTING DISTURBANCE OF ANY AREAS OF VEGETATION OUTSIDE THE CONSTRUCTION ZONE.
- HAVE EROSION CONTROL MEASURES (PER WSDOE BMP T5.13) INSPECTED BY CITY OF ARLINGTON ENGINEERING INSPECTOR. ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES MUST BE IN PLACE AND INSPECTED PRIOR TO ANY CONSTRUCTION OR SITE CLEARING. EROSION AND SEDIMENTATION CONTROL PRACTICES AND/OR DEVICES SHALL BE MAINTAINED UNTIL PERMANENT VEGETATION IS ESTABLISHED.
- ROUGH GRADE SITE AS REQUIRED TO INSTALL DRAINAGE FEATURES.
- CLEAR, GRUB & ROUGH GRADE SITE. REVEGETATE DISTURBED AREAS NOT SUBJECT TO ADDITIONAL SURFACE DISTURBANCE IMMEDIATELY AFTER ROUGH GRADING (OTHER EXPOSED AREAS SHALL BE STABILIZED PER EROSION CONTROL NOTES) PER SEASONAL REQUIREMENTS. SEEDING SHOULD BE USED ON AREAS THAT HAVE REACHED FINAL GRADE OR WILL REMAIN UNWORKED MORE THAN 30 DAYS. MULCH SHALL BE APPLIED ON TOP OF SEED OR SIMULTANEOUSLY BY HYDROSEEDING.
- INSTALL UTILITIES AND OTHER SITE IMPROVEMENTS, INCLUDING FRONTAGE IMPROVEMENTS.
- STABILIZE AND COMPOST AMEND ALL EXPOSED SOILS PRIOR TO REVEGETATION OF ENTIRE SITE.
- ESTABLISH LANDSCAPING AND PERMANENT VEGETATION (INCLUDING WETLAND BUFFER IF DISTURBED). ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL SITE STABILIZATION AND APPROVAL BY CITY INSPECTOR.

**TEMPORARY EROSION CONTROL PLAN NOTES:**

- MAINTAIN AND REPAIR ALL BMP'S AS NECESSARY TO ASSURE CONTINUED PERFORMANCE OF INTENDED FUNCTION.
- ADDITIONAL BMP'S LISTED IN THE CONSTRUCTION SWPPP & THE CITY OF ARLINGTON SURFACE WATER MANAGEMENT MANUAL MUST BE UTILIZED AS NEEDED FOR ONSITE EROSION CONTROL.
- CONTRACTOR TO HAVE EROSION CONTROL SUPPLIES ON SITE.
- CONTRACTOR/APPLICANT SHOULD APPLY FOR DISCHARGE PERMITS AS NEEDED.
- SEE C1.2A FOR LEGEND W/ ADDITIONAL SYMBOLOLOGY, ABBREVIATIONS, ETC.
- ESC SUPERVISOR SHALL UPDATE TESC PLANS AS NEEDED TO REFLECT CHANGING SITE CONDITIONS.
- DISTURBED AREAS SHALL BE COMPOST AMENDED PER REQUIREMENTS OF BMP T5.13 IN THE DEPARTMENT OF ECOLOGY STORMWATER MANUAL, VOLUME V, CHAPTER 5.

ESC LEGEND		
DESCRIPTION	EXISTING	PROPOSED
CLEARING LIMITS		
SEDIMENT BARRIER		



**LINE TABLE**

NO.	BEARING	DISTANCE
L1	S 01°51'46"W	35.00
L2	S 87°26'12"E	628.84
L3	S 87°26'12"E	35.76
L4	S 87°26'12"E	542.22
L5	S 77°42'24"W	13.75
L6	S 88°16'55"E	118.79

1. WEST EDGE OF PIPE LINE ESMT WAS CORRECTED TO MATCH C2 BEARING.  
2. BSBL LINE WAS CORRECTED TO MATCH WEST EDGE PIPE LINE ESMT.

**CURVE TABLE**

NO.	DELTA	CHORDS	LENGTH
C1	33°32'09"	509.79	508.59
C2	32°37'38"	510.22	290.55
C3	47°49'56"	110.00	91.83
C4	14°26'41"	110.00	27.73
C5	89°17'58"	12.00	18.70

**WETLAND "F"**  
285,651 SF

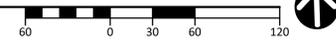
**TITLE PARCEL "A"**  
TPN 31052800100700  
16430 51ST AVE. N.E.  
844,071 SF (19.38 ACRES)

**TITLE PARCEL "A"**  
TPN 31052800400100  
16204 51ST AVE. N.E.  
4,071,299 SF (93.46 ACRES)

TPN 31052800101400  
EMERALD SPRINGS NORTH LLC

**1 TEMPORARY EROSION CONTROL PLAN - BLOCK A**

SCALE: 1" = 60'



**CITY OF ARLINGTON  
CONSTRUCTION DRAWING REVIEW APPROVAL**

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: \_\_\_\_\_

DATE: \_\_\_\_\_ THIS APPROVAL IS VALID FOR 18 MONTHS

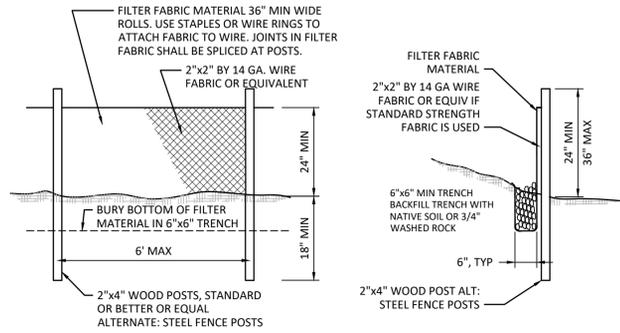
MARK	DATE	DESCRIPTION
	09/05/23	PERMIT SUBMITTAL

DESIGN: NAT  
DRAWN: ATD  
CHECK: JPU  
JOB NO: 20084.20  
DATE: 09/05/23

WILLIAMS INVESTMENTS COMMERCIAL PARK  
ARLINGTON BINDING SITE PLAN  
16430 51ST AVE NE  
ARLINGTON, WA 98223

TEMPORARY EROSION  
CONTROL PLAN - BLOCK A

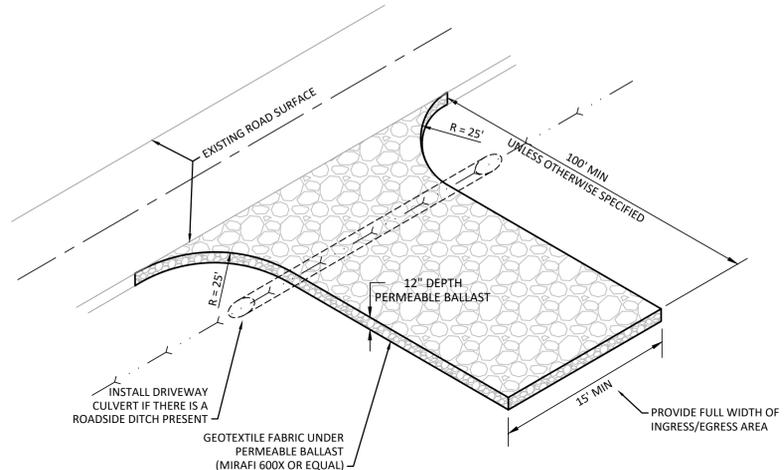
SHEET:  
**C2.1A**



**SILT FENCE NOTES:**

1. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6 INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST.
2. THE SILT FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS (WHERE FEASIBLE). THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 18 INCHES).
3. A SHALLOW TRENCH SHALL BE EXCAVATED, ROUGHLY 6 INCHES WIDE AND 6 INCHES DEEP, UPSLOPE AND ADJACENT TO THE WOOD POSTS TO ALLOW THE LOWER EDGE OF THE FILTER FABRIC TO BE SECURED WITH GRAVEL.
4. WHEN FILTER FABRIC NOT AS STRONG AS MIRAFI 700X IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG, THE WIRES OR HOG RINGS. THE WIRE MESH SHALL EXTEND INTO THE SHALLOW TRENCH A MINIMUM OF 4 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
5. THE MIRAFI 700X FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND AT LEAST 18 INCHES OF THE FABRIC SHALL BE BURIED IN THE SHALLOW TRENCH. THE FILTER FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE AND SHALL NOT BE STAPLED TO TREES.
6. WHEN EXTRA-STRENGTH FILTER FABRIC (MIRAFI 700X OR EQUAL) AND FOUR (4") POST SPACING IS USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF NOTE 5 APPLYING.
7. THE TRENCH SHALL BE BACKFILLED WITH NATIVE SOIL OR 3/4" -1.5" WASHED ROCK.
8. FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED. THE NEWLY DISTURBED AREAS RESULTING FROM SILT FENCE REMOVAL SHALL BE IMMEDIATELY SEEDED AND MULCHED, OR OTHERWISE PERMANENTLY STABILIZED TO THE SATISFACTION OF THE CIVIL INSPECTOR.
9. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
10. MAINTENANCE: ANY DAMAGED OR CLOGGED FENCE SHALL BE REPAIRED/REPLACED IMMEDIATELY. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT DEPTH IS 6 INCHES OR GREATER. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.

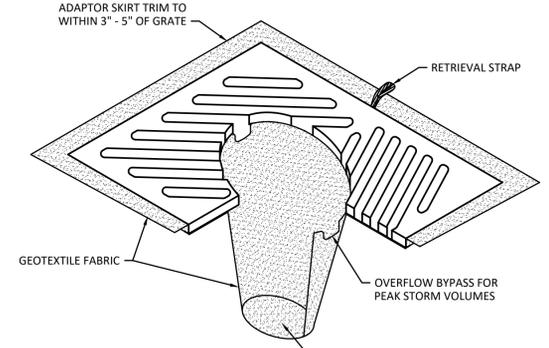
**1 SILT FENCE**  
 SCALE: 1/2" = 1'-0"



**STABILIZED CONSTRUCTION ENTRANCE NOTES:**

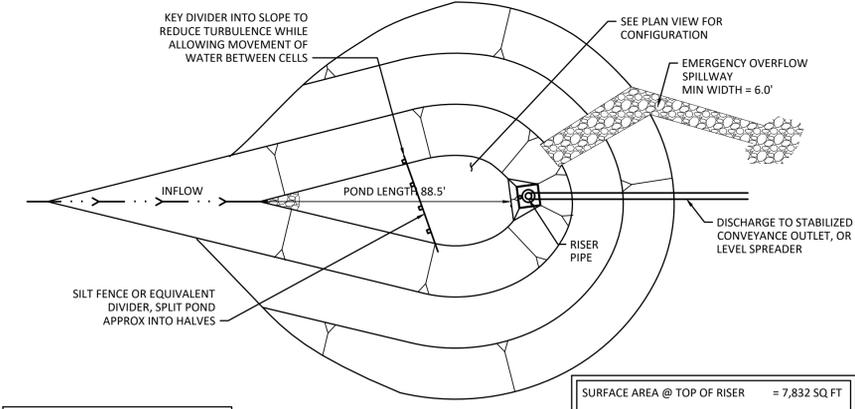
1. INSTALLATION: THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL. THE PERMEABLE BALLAST SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS IN THE PLAN. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. AGGREGATE: PERMEABLE BALLAST PER WSDOT STD. SPEC. SEC. 9-03.9(2).
3. ENTRANCE DIMENSIONS: THE AGGREGATE LAYER MUST BE AT LEAST 12" THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 100 FEET (UNLESS OTHERWISE APPROVE BY CIVIL INSPECTOR).
4. WASHING: IF CONDITIONS ON THE SITE ARE SUCH THAT MOST OF THE MUD IS NOT REMOVED FROM VEHICLE TIRES BY CONTACT WITH THE ROCK ENTRANCE, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.
5. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL BALLAST, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAY OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY BY SWEEPING. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING DOWN THE STREET, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY.

**2 STABILIZED CONSTRUCTION ENTRANCE**  
 SCALE: NTS



- NOTES:**
1. INSERT SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING ACTIVITY OR UPON PLACEMENT OF A NEW CATCH BASIN.
  2. SEDIMENT SHALL BE REMOVED FROM THE UNIT WHEN IT BECOMES HALF FULL.
  3. SEDIMENT REMOVAL SHALL BE ACCOMPLISHED BY REMOVING THE INSERT, EMPTYING, AND RE-INSERTING INTO THE CATCH BASIN.

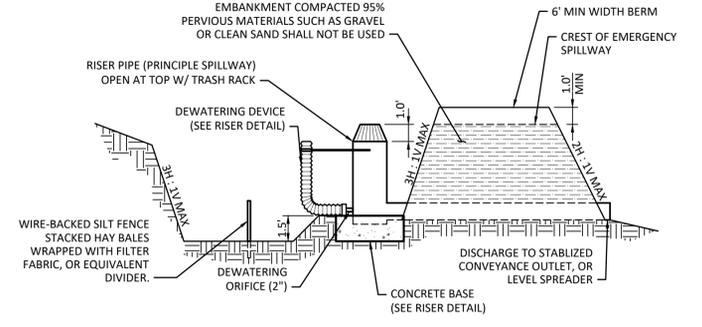
**3 CATCH BASIN INSERT**  
 SCALE: NTS



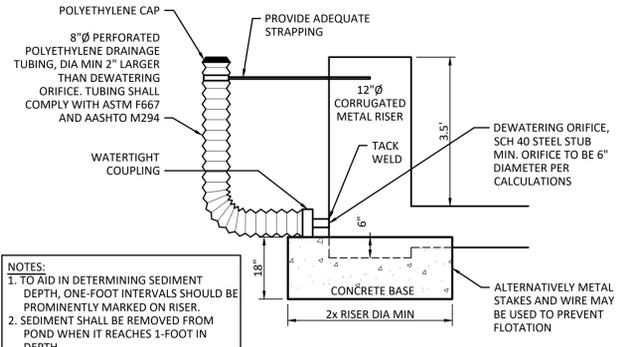
- NOTES:**
1. POND MAY BE FORMED BY BERM OR BY PARTIAL OR COMPLETE EXCAVATION.

SURFACE AREA @ TOP OF RISER	= 7,832 SQ FT
SUGGESTED LENGTH	= 88.5 FT
SUGGESTED WIDTH	= 88.5 FT

**4 SEDIMENT POND PLAN VIEW**  
 SCALE: 1" = 10'

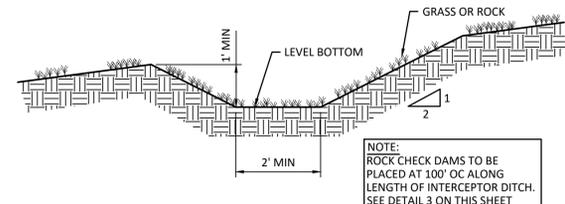


**5 SEDIMENT POND CROSS SECTION**  
 SCALE: 1" = 5'

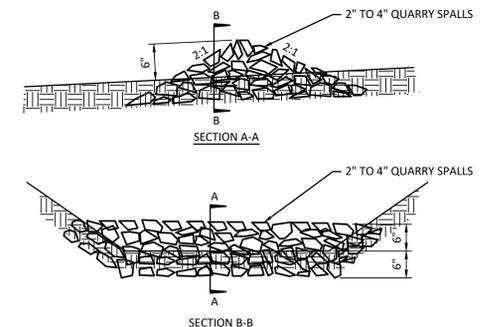


- NOTES:**
1. TO AID IN DETERMINING SEDIMENT DEPTH, ONE-FOOT INTERVALS SHOULD BE PROMINENTLY MARKED ON RISER.
  2. SEDIMENT SHALL BE REMOVED FROM POND WHEN IT REACHES 1-FOOT IN DEPTH.
  3. ANY DAMAGE TO POND EMBANKMENTS OR SLOPES SHALL BE REPAIRED.

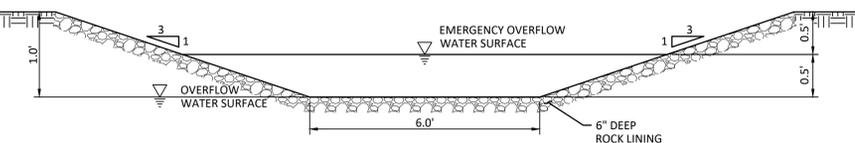
**6 SEDIMENT POND RISER DETAIL**  
 SCALE: 1/2" = 1'-0"



**7 INTERCEPTOR SWALE**  
 SCALE: 1/2" = 1'-0"



**8 ROCK CHECK DAM**  
 SCALE: NTS



**9 EMERGENCY OVERFLOW SPILLWAY**  
 SCALE: NTS

CITY OF ARLINGTON  
**CONSTRUCTION DRAWING REVIEW APPROVAL**  
 THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_ THIS APPROVAL IS VALID FOR 18 MONTHS

DESIGN:	NAT
DRAWN:	ATD
CHECK:	JPU
JOB NO:	20084.20
DATE:	09/05/23

WILLIAMS INVESTMENTS, COMMERCIAL PARK  
 ARLINGTON BINDING SITE PLAN  
 16430 51ST AVE NE  
 ARLINGTON, WA 98223

TEMPORARY EROSION CONTROL DETAILS - BLOCK A

SHEET:  
**C2.2A**

A PORTION OF THE SW 1/4, NE 1/4 & NORTH 1/2 & SE 1/4, SE 1/4, SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



**GRADING AND DRAINAGE NOTES:**

- SEE C3.2, C3.3, C3.4 & C3.5 FOR 30 SCALE PLANS.
- 1.5% (2% MAX) CROSS SLOPE AND 4.5% (5% MAX) RUNNING SLOPE FOR ALL SIDEWALKS AND WALKWAYS ON AND OFF SITE. 1.5% (2% MAX) CROSS SLOPE IN ALL DIRECTIONS AT CHANGE IN DIRECTIONS AND CROSSING IN SIDEWALKS AND WALKWAYS, RAMP/STAIR LANDINGS, VEHICULAR WAY CROSSINGS, VEHICULAR LOADING ZONES, ACCESSIBLE PARKING SPACES/AISLES, ROUTES (WHETHER OR NOT STRIPED) TO ACCESSIBLE GARAGE SPACES (AND FLUSH MAN-DOOR THRESHOLD), ENTRY DOOR MANEUVERING SPACES, TRASH AREAS, AND AT AMENITY AREAS.
- 1.5% (2% MAX) SLOPE IN ALL DIRECTIONS IN HANDICAP PARKING AND LOADING ZONES.
- 7.5% (8.33% MAX) RAMP SLOPE WITH A 5.0' MIN LEVEL LANDING AT THE TOP, INTERMEDIATE, AND BOTTOM OF RAMP. HANDRAILS ARE REQUIRED ON BOTH SIDES IF RAMP RUNS HAVE A RISE GREATER THAN 0.5'. SEE C6.1 FOR HANDRAIL LOCATIONS
- TOP AND TOE ELEVATIONS ON WALLS REFER TO GRADE, NOT THE PHYSICAL TOP AND BOTTOM OF THE WALL.

**GRADING QUANTITIES**

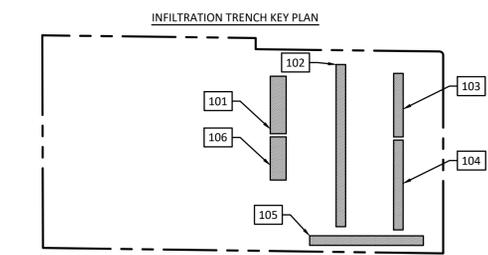
TOTAL EXCAVATION (CUT) -	8,500.00 CU YDS TOTAL
EMBANKMENT (FILL) -	90,000.00 CU YDS
<b>TOTAL</b>	<b>98,500.00 CU YDS</b>

THE QUANTITIES SHOWN ABOVE ARE FOR THE PERMIT PROCESS ONLY. THESE VALUES ARE APPROXIMATE. DO NOT USE FOR BIDDING, PAYMENT, OR ESTIMATING PURPOSES.

**INFILTRATION TRENCH TABLE**

MARK	SURFACE AREA (SF)	TOP	BOTTOM	GROUNDWATER
101	180' x 50' = 9,000	121.50	119.50	118.0
102	480' x 30' = 14,400	121.50	119.50	118.0
103	219' x 30' = 6,570	121.50	119.50	118.0
104	291' x 30' = 8,730	121.50	119.50	118.0
105	360' x 30' = 10,800	121.50	119.50	118.0
106	135' x 50' = 6,750	121.50	119.50	118.0
<b>TOTAL</b>	<b>56,250 SF</b>			

NOTES:  
 1. REFER TO DETAIL 1/C3.5A FOR INFILTRATION SECTION.



MARK	DATE	DESCRIPTION
	09/05/23	PERMIT SUBMITTAL

DESIGN: NAT  
 DRAWN: ATD  
 CHECK: JPU  
 JOB NO: 20084.20  
 DATE: 09/05/23

WILLIAMS INVESTMENTS COMMERCIAL PARK  
 ARLINGTON BINDING SITE PLAN  
 16430 51ST AVE NE  
 ARLINGTON, WA 98223

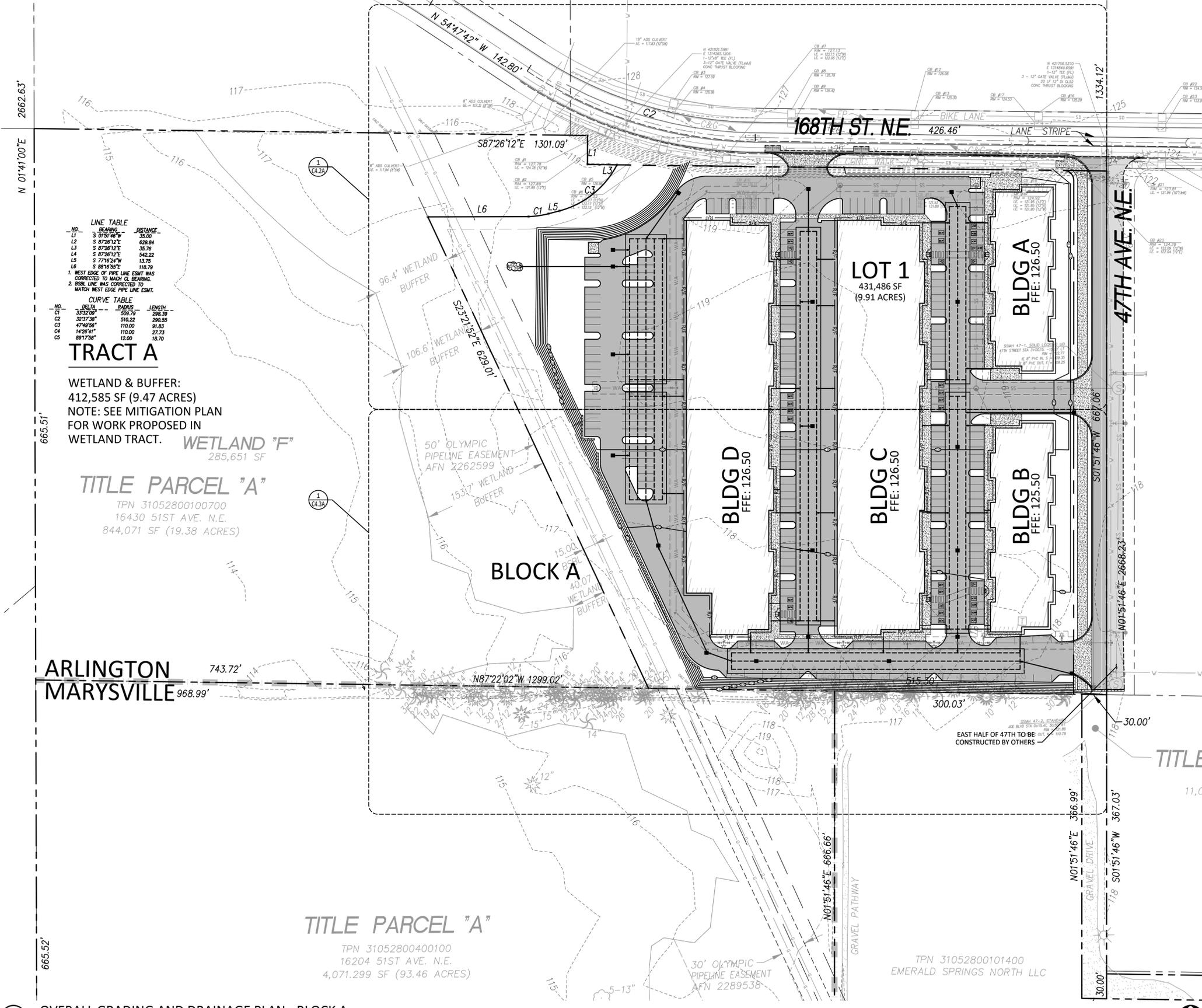
OVERALL GRADING  
 AND DRAINAGE PLAN - BLOCK A

SHEET:

**CITY OF ARLINGTON  
 CONSTRUCTION DRAWING REVIEW APPROVAL**

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_ THIS APPROVAL IS VALID FOR 18 MONTHS



**LINE TABLE**

NO.	BEARING	DISTANCE
L1	S 01°51'46"W	35.00
L2	S 87°26'12"E	628.84
L3	S 87°26'12"E	35.76
L4	S 87°26'12"E	542.22
L5	S 77°42'24"W	13.75
L6	S 88°16'55"E	118.79

1. WEST EDGE OF PIPE LINE ESMIT WAS CORRECTED TO MATCH C2 BEARING.  
 2. BSSL LINE WAS CORRECTED TO MATCH WEST EDGE PIPE LINE ESMIT.

**CURVE TABLE**

NO.	DELTA	CHORDS	LENGTH
C1	33°32'09"	509.79	508.59
C2	32°37'38"	510.22	290.55
C3	47°49'58"	110.00	91.83
C4	14°26'41"	110.00	27.73
C5	89°17'58"	12.00	18.70

**TRACT A**

WETLAND & BUFFER:  
 412,585 SF (9.47 ACRES)  
 NOTE: SEE MITIGATION PLAN FOR WORK PROPOSED IN WETLAND TRACT.

**WETLAND "F"**  
 285,651 SF

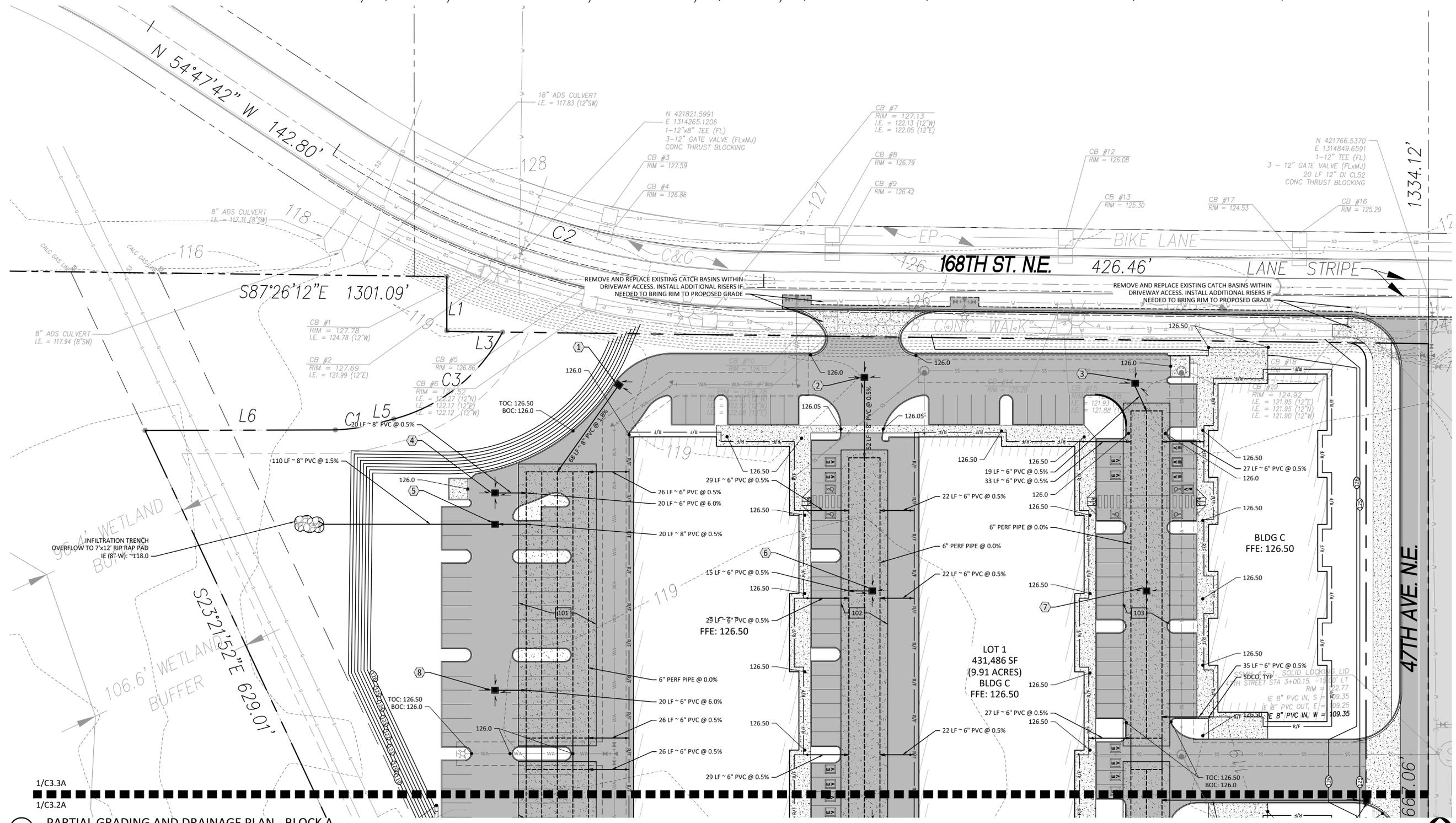
**TITLE PARCEL "A"**  
 TPN 31052800100700  
 16430 51ST AVE. N.E.  
 844,071 SF (19.38 ACRES)

**TITLE PARCEL "A"**  
 TPN 31052800400100  
 16204 51ST AVE. N.E.  
 4,071,299 SF (93.46 ACRES)

**1 OVERALL GRADING AND DRAINAGE PLAN - BLOCK A**  
 SCALE: 1" = 60'



A PORTION OF THE SW 1/4, NE 1/4 & NORTH 1/2 & SE 1/4, SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



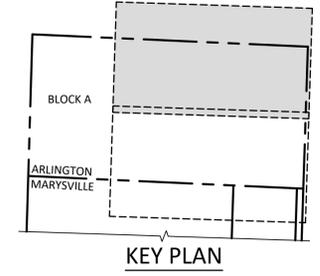
MARK	DATE	DESCRIPTION
	09/05/23	PERMIT SUBMITTAL

DESIGN:	NAT
DRAWN:	ATD
CHECK:	JPU
JOB NO:	20084.20
DATE:	09/05/23

1/C3.3A  
 1/C3.2A  
**1 PARTIAL GRADING AND DRAINAGE PLAN - BLOCK A**  
 SCALE: 1" = 30'

- PARTIAL GRADING PLAN NOTES:**
- A MINIMUM CLEAR PATH WIDTH OF 44" IS REQUIRED FOR ALL EXTERIOR ACCESSIBLE ADA ROUTES.
  - ALL ACCESSIBLE PARKING SPACES SHALL INCLUDE VERTICAL SIGNS PER WA STATE AMENDMENT 1101.2.9.



**CITY OF ARLINGTON  
 CONSTRUCTION DRAWING REVIEW APPROVAL**

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: \_\_\_\_\_

DATE: \_\_\_\_\_ THIS APPROVAL IS VALID FOR 18 MONTHS

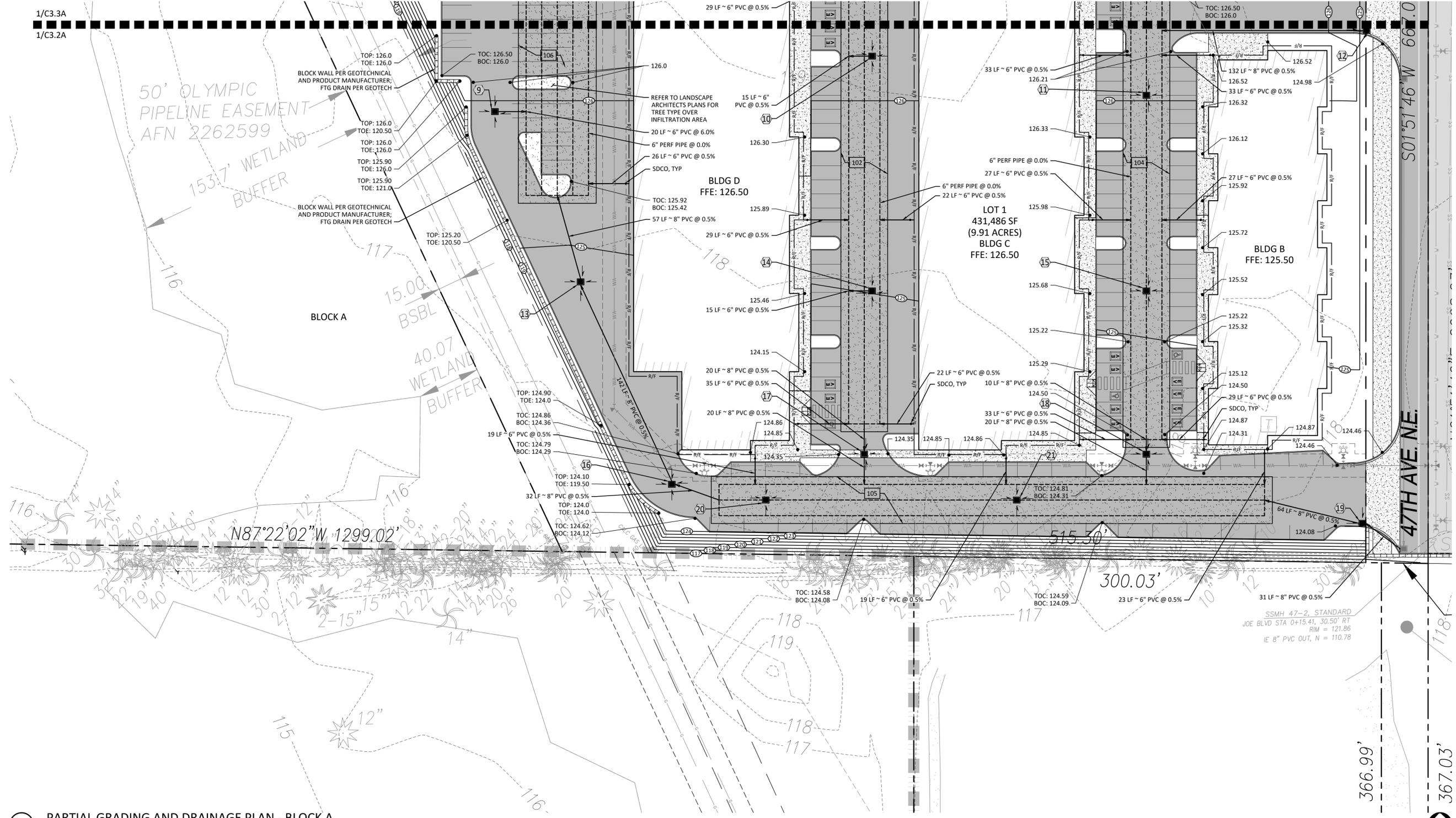
WILLIAMS INVESTMENTS COMMERCIAL PARK  
 ARLINGTON BINDING SITE PLAN  
 16430 51ST AVE NE  
 ARLINGTON, WA 98223

**PARTIAL GRADING  
 AND DRAINAGE PLAN - BLOCK A**

FILE NAME: \_\_\_\_\_

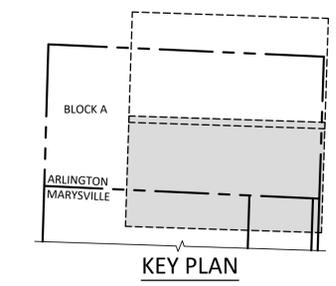
SHEET:  
**C3.2A**

A PORTION OF THE SW 1/4, NE 1/4 & NORTH 1/2 & SE 1/4, SE 1/4, SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



**1** PARTIAL GRADING AND DRAINAGE PLAN - BLOCK A  
SCALE: 1" = 30'

- PARTIAL GRADING PLAN NOTES:**
1. A MINIMUM CLEAR PATH WIDTH OF 44" IS REQUIRED FOR ALL EXTERIOR ACCESSIBLE ADA ROUTES.
  2. ALL ACCESSIBLE PARKING SPACES SHALL INCLUDE VERTICAL SIGNS PER WA STATE AMENDMENT 1101.2.9.



**CITY OF ARLINGTON  
CONSTRUCTION DRAWING REVIEW APPROVAL**

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: \_\_\_\_\_

DATE: \_\_\_\_\_ THIS APPROVAL IS VALID FOR 18 MONTHS

**ENGINEERING**  
250 4TH AVE. S., SUITE 200  
EDMONDS, WASHINGTON 98020  
PHONE (425) 778-8500  
FAX (425) 778-5536



MARK	DATE	DESCRIPTION
	09/05/23	PERMIT SUBMITTAL

DESIGN: NAT  
DRAWN: ATD  
CHECK: JPU  
JOB NO: 20084.20  
DATE: 09/05/23

WILLIAMS INVESTMENTS COMMERCIAL PARK  
ARLINGTON BINDING SITE PLAN  
16430 51ST AVE NE  
ARLINGTON, WA 98223

PARTIAL GRADING  
AND DRAINAGE PLAN - BLOCK A

SHEET:

**C3.3A**





A PORTION OF THE SW 1/4, NE 1/4 & NORTH 1/2 & SE 1/4, SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

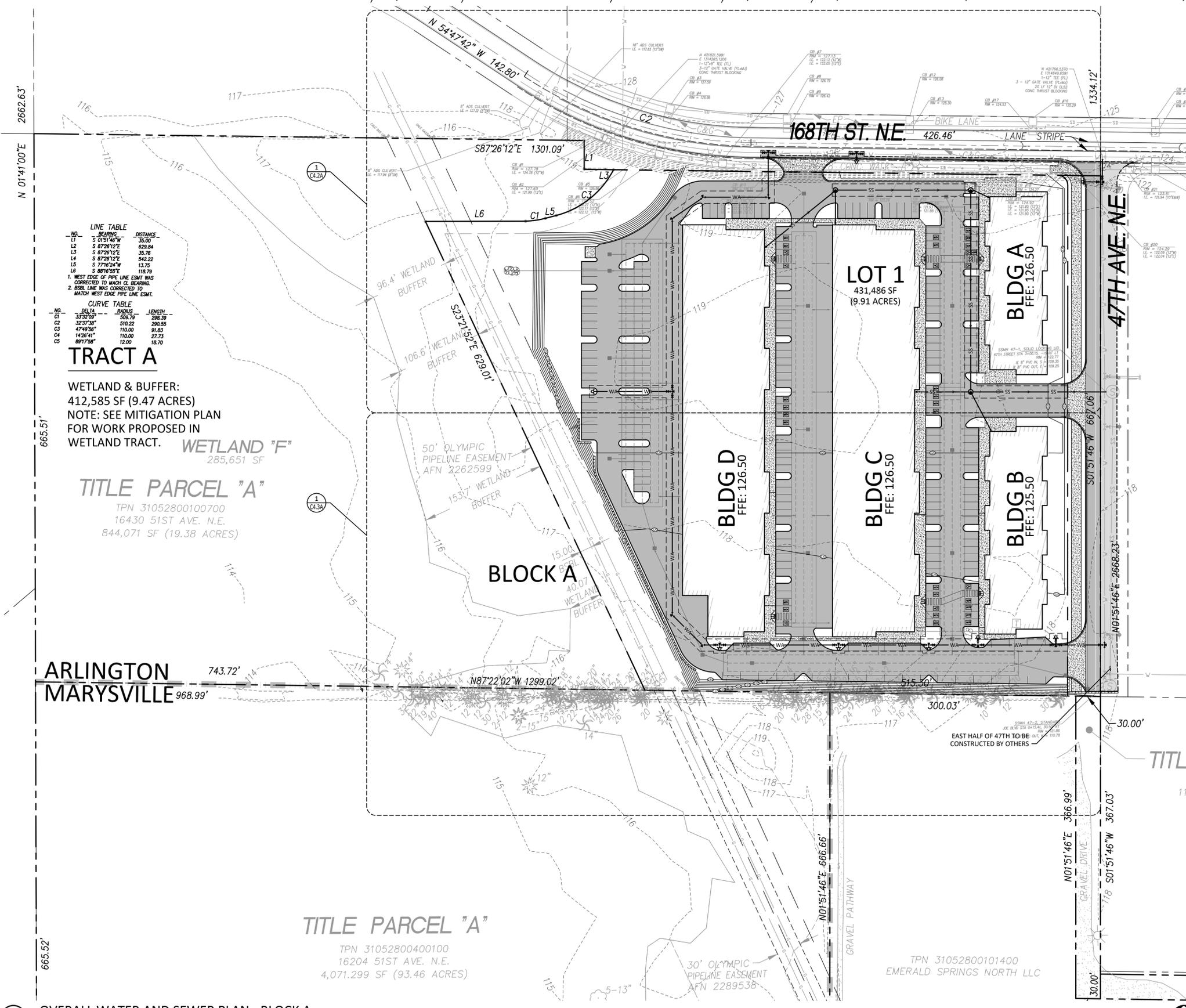


**WATER PLAN NOTES:**

- SEE C4.2A, & C4.3A, FOR 30 SCALE PLANS INCLUDING UTILITY CROSSING AND WATER SYSTEM CALLOUTS.
- FIRE LINE DCDA INSTALLATIONS IN FIRE RISER ROOM, TYP.
- SEE 1/C4.5A AND 2/C4.5A FOR THRUST BLOCKING DETAILS.
- SEE 5/C4.5A FOR WATER TRENCHING DETAILS.
- ALL FITTINGS SHALL BE RESTRAINED JOINTS & HAVE THRUST BLOCKING.
- ALL IN-LINE PIPE (BELL) JOINTS SHALL BE RESTRAINED W/ FIELD LOCK TYPE GASKETS.
- DCDAs FOR FIRE SERVICE & RPBA's FOR DOMESTIC SERVICE TO BE LOCATED INSIDE BLDG PER 6/C4.4A (W-120) & 7/C4.4A (W-150).
- ADD GUARD POSTS AT ALL HYDRANTS PER W-030 (4/C4.4A).
- CONSTRUCT ALL FIRE HYDRANTS PER 1/C4.4A, 2/C4.4A & 3/C4.4A.
- ALL METERS SHALL HAVE A 2" SETTER.
- METERS AND SERVICES SHALL BE SIZED BY PLUMBING CONSULTANT.
- FIRE LINE SIZING 4" TO EACH BUILDING TO BE CONFIRMED FIRE SPRINKLER CONSULTANT.
- FDC SHALL BE 2.5" FEMALE FDC HOOKUP ON BUILDING EXTERIOR OUTSIDE SPRINKLER ROOM, LOCATED PER PLAN. FDCs SHALL BE PAINTED RED. SPRINKLER DESIGNER SHALL CALCULATE SIZE OF FDC INLET NEEDED AND GET APPROVAL FROM AFD AFTER SPRINKLER PERMIT HAS BEEN APPLIED FOR.
- SEE C4.6A, & C4.7A FOR WATER MAINS PROFILES.

**SEWER PLAN NOTES:**

- SEE C4.2A & C4.3A FOR 30 SCALE PLANS INCLUDING UTILITY CROSSINGS AND SEWER SYSTEM CALLOUTS.
- SEE 1/C4.6A, 2/C4.6A, 3/C4.6A, & 4/C4.6A FOR MANHOLE DETAILS.
- ALL CLEANOUTS SHALL BE SET TO GRADE AND PER 5/C4.6A (SS-080).
- SEE 5/C4.5A FOR SEWER TRENCHING DETAILS.
- PIPE ANCHOR BLOCK SHALL BE INSTALLED WHERE THE SEWER PIPE SLOPES EXCEED 20%. EACH PIPE LENGTH SHALL HAVE ONE ANCHOR BLOCK AND THEY SHALL BE SPACED AT 20 FT ON CENTER.
- PLUMBING CONSULTANT TO CONFIRM PIPE SIZES AND DEPTHS FROM BUILDINGS.



**LINE TABLE**

NO.	BEARING	DISTANCE
L1	S 01°51'46"W	35.00
L2	S 87°28'12"E	628.84
L3	S 87°28'12"E	35.76
L4	S 87°28'12"E	542.22
L5	S 77°42'24"W	13.75
L6	S 88°16'55"E	118.79

1. WEST EDGE OF PIPE LINE ESMT WAS CORRECTED TO MATCH C2 BEARING.  
2. SSBL LINE WAS CORRECTED TO MATCH WEST EDGE PIPE LINE ESMT.

**CURVE TABLE**

NO.	DELTA	CHORD	LENGTH
C1	33°32'09"	509.79	508.59
C2	32°37'38"	510.22	290.55
C3	47°49'58"	110.00	91.83
C4	14°28'41"	110.00	27.73
C5	89°17'58"	12.00	18.70

**TRACT A**

WETLAND & BUFFER:  
412,585 SF (9.47 ACRES)  
NOTE: SEE MITIGATION PLAN FOR WORK PROPOSED IN WETLAND TRACT. **WETLAND "F"**  
285,651 SF

**TITLE PARCEL "A"**  
TPN 31052800100700  
16430 51ST AVE. N.E.  
844,071 SF (19.38 ACRES)

**TITLE PARCEL "A"**  
TPN 31052800400100  
16204 51ST AVE. N.E.  
4,071,299 SF (93.46 ACRES)

ARLINGTON  
MARYSVILLE

**OVERALL WATER AND SEWER PLAN - BLOCK A**

SCALE: 1" = 60'



CITY OF ARLINGTON  
CONSTRUCTION DRAWING REVIEW APPROVAL  
THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.  
BY: \_\_\_\_\_  
DATE: \_\_\_\_\_ THIS APPROVAL IS VALID FOR 18 MONTHS

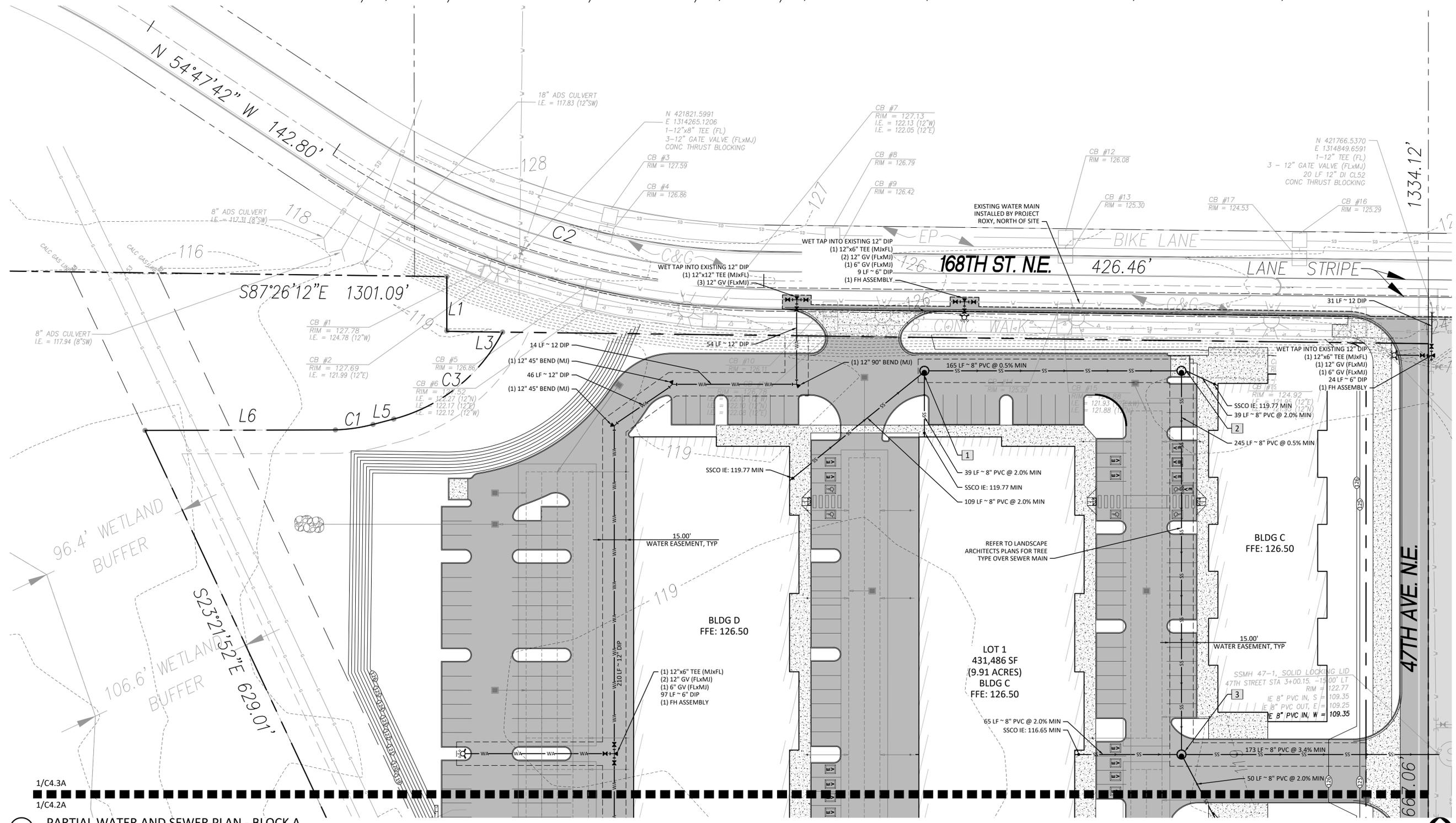
MARK	DATE	DESCRIPTION
	09/05/23	PERMIT SUBMITTAL

DESIGN: NAT  
DRAWN: ATD  
CHECK: JPU  
JOB NO: 20084.20  
DATE: 09/05/23

WILLIAMS INVESTMENTS COMMERCIAL PARK  
ARLINGTON BINDING SITE PLAN  
16430 51ST AVE NE  
ARLINGTON, WA 98223  
OVERALL WATER AND SEWER PLAN - BLOCK A

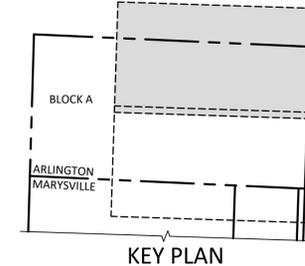
SHEET:  
**C4.1A**

A PORTION OF THE SW 1/4, NE 1/4 & NORTH 1/2 & SE 1/4, SE 1/4, SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



1/C4.3A  
 1/C4.2A  
**1** PARTIAL WATER AND SEWER PLAN - BLOCK A  
 SCALE: 1" = 30'

SEWER MANHOLE SCHEDULE			
MARK	RIM ELEV	INV ELEV	NOTES
1	126.0	(SW, S): 117.59 (E): 117.49	POTHOLE AND VERIFY EXISTING SEWER LOCATIONS AND ELEVATIONS PRIOR TO UTILITY CONSTRUCTION
2	126.0	(SE, W): 116.67 (S): 116.57	
3	126.0	(N, SE, W): 115.35 (E): 115.25	



**CITY OF ARLINGTON  
 CONSTRUCTION DRAWING REVIEW APPROVAL**

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_ THIS APPROVAL IS VALID FOR 18 MONTHS

WILLIAMS INVESTMENTS COMMERCIAL PARK  
 ARLINGTON BINDING SITE PLAN  
 16430 51ST AVE NE  
 ARLINGTON, WA 98223

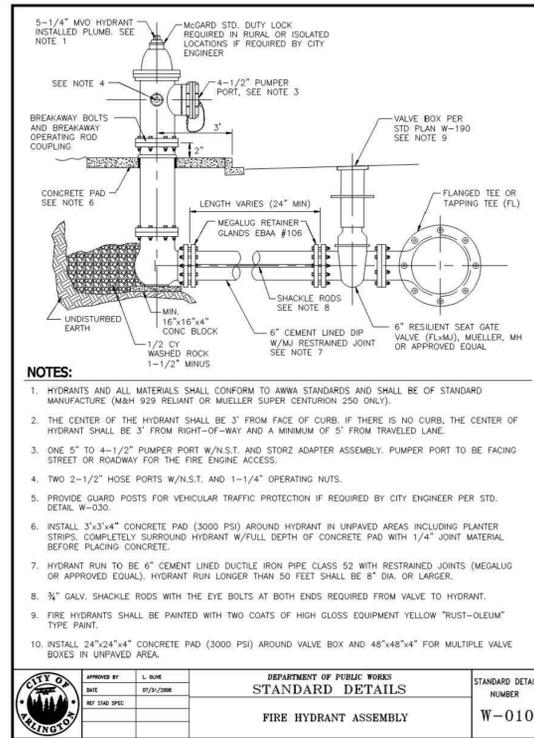
PARTIAL WATER AND SEWER PLAN - BLOCK A

SHEET:  
**C4.2A**

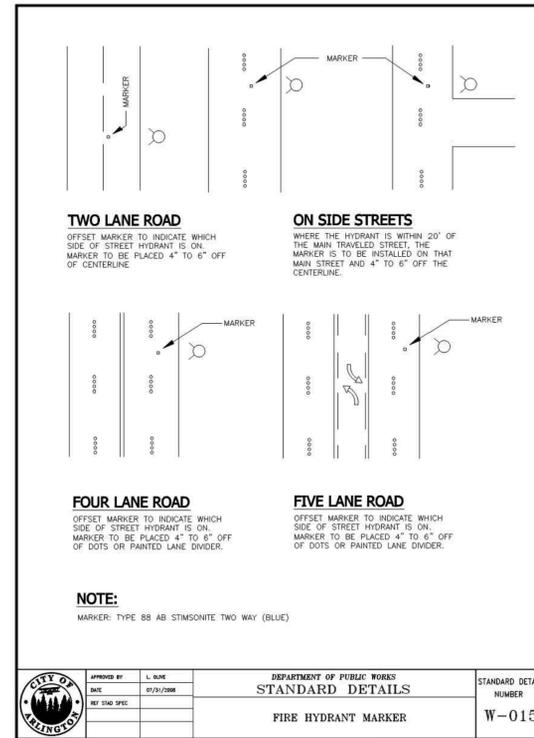
MARK	DATE	DESCRIPTION
	09/05/23	PERMIT SUBMITTAL

DESIGN: NAT  
 DRAWN: ATD  
 CHECK: JPU  
 JOB NO: 20084.20  
 DATE: 09/05/23

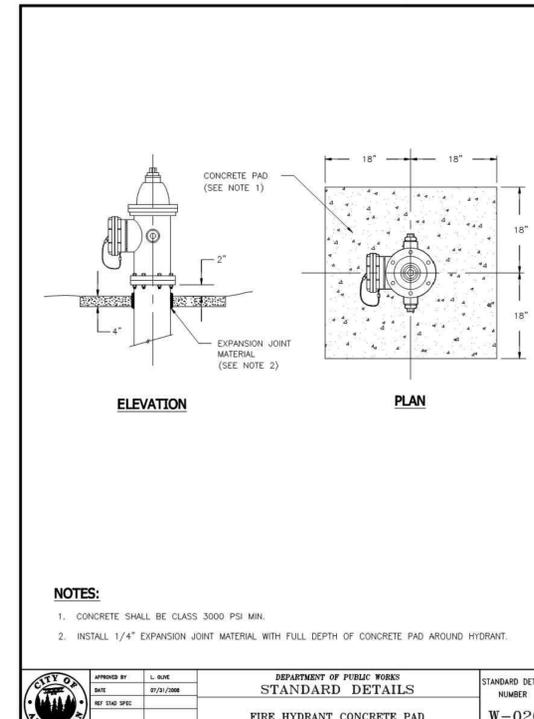




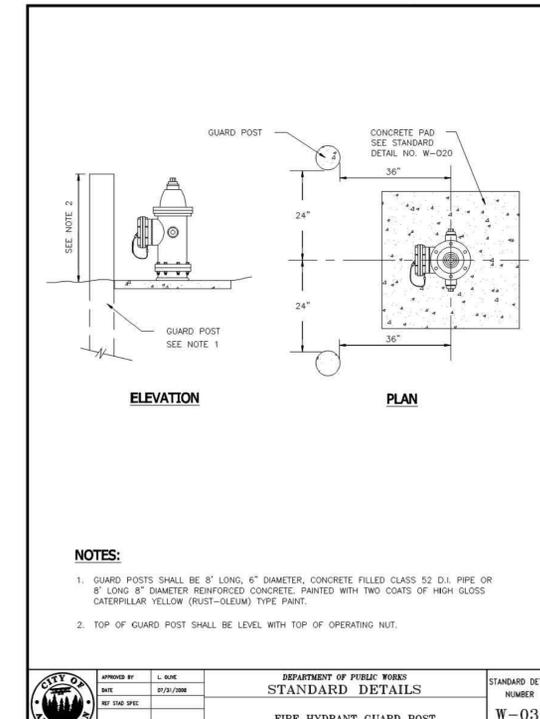
**1** CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS



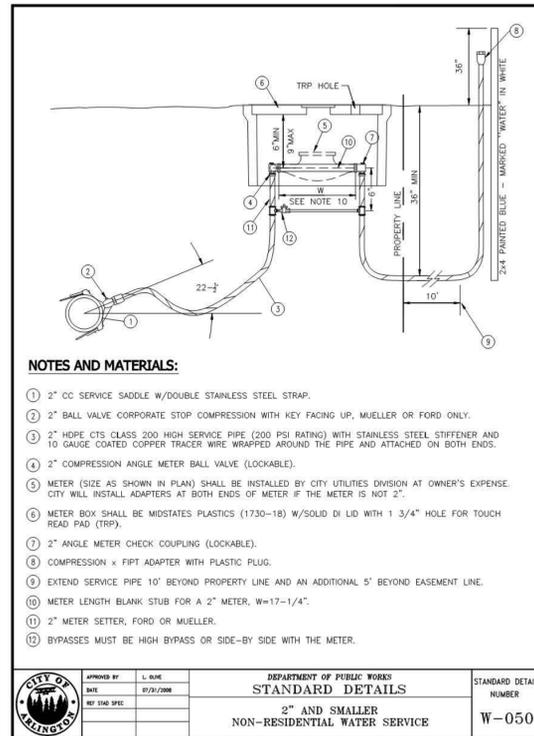
**2** CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS



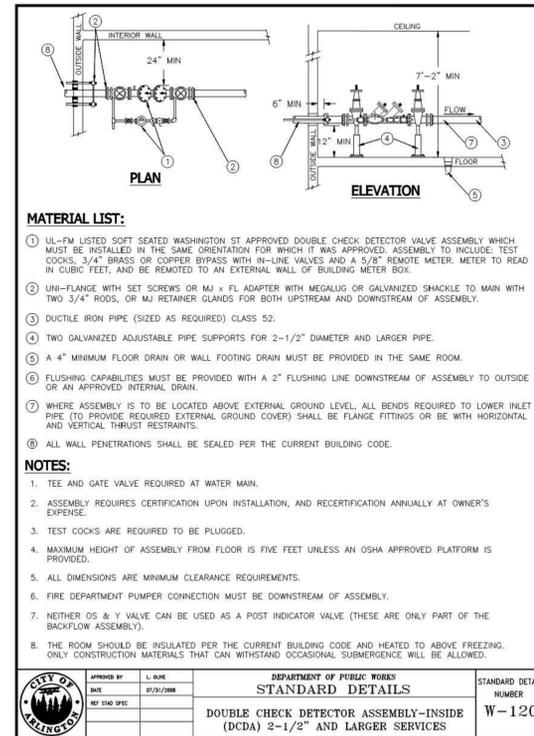
**3** CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS



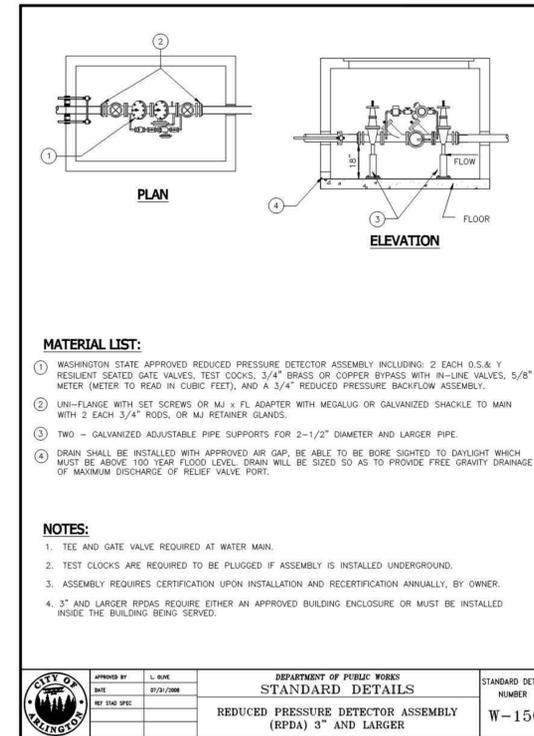
**4** CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS



**5** CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS



**6** CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS



**7** CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS

**CITY OF ARLINGTON CONSTRUCTION DRAWING REVIEW APPROVAL**

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: \_\_\_\_\_

DATE: \_\_\_\_\_ THIS APPROVAL IS VALID FOR 18 MONTHS

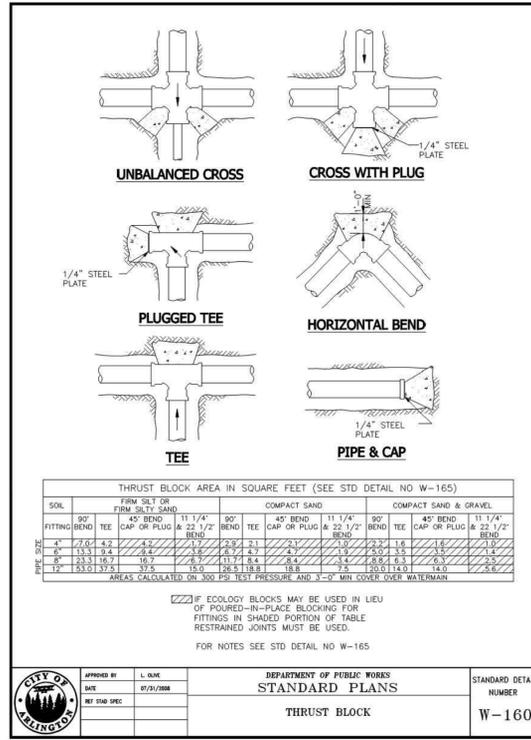
DESIGN:	NAT
DRAWN:	ATD
CHECK:	JPU
JOB NO:	20084.20
DATE:	09/05/23

WILLIAMS INVESTMENTS COMMERCIAL PARK  
 ARLINGTON BINDING SITE PLAN  
 16430 51ST AVE NE  
 ARLINGTON, WA 98223

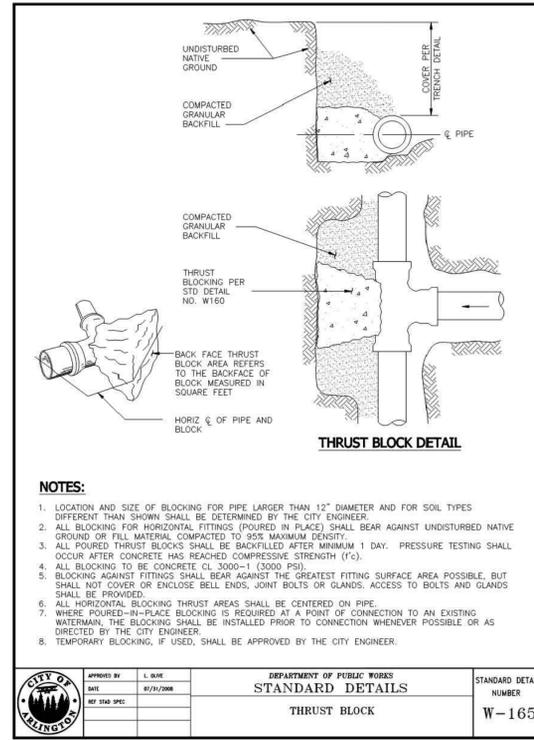
WATER DETAILS - BLOCK A

SHEET: \_\_\_\_\_

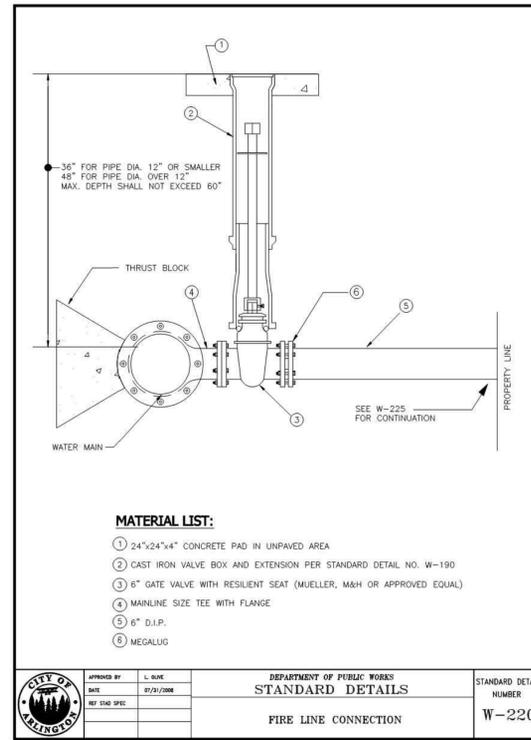
**C4.4A**



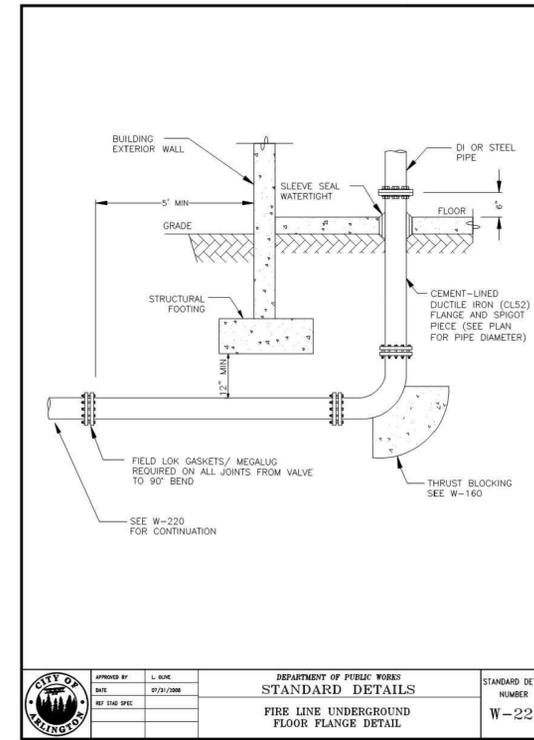
**1** CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS



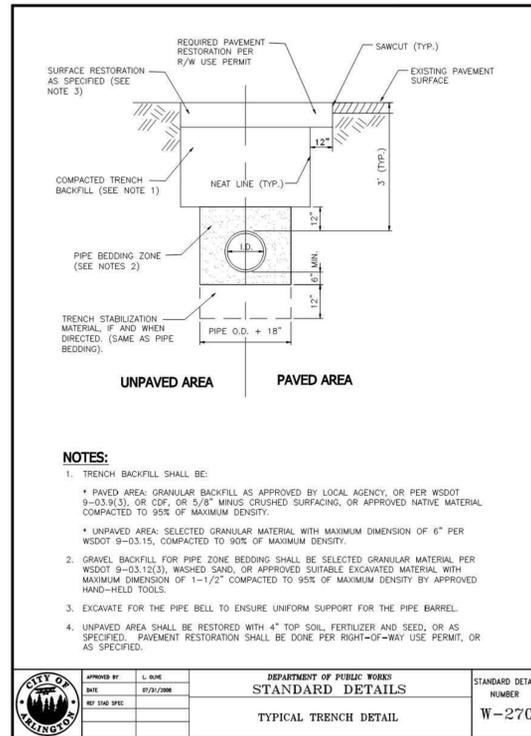
**2** CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS



**3** CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS



**4** CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS



**5** CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS

MARK	DATE	DESCRIPTION
	09/05/23	PERMIT SUBMITTAL

DESIGN: NAT  
 DRAWN: ATD  
 CHECK: JPU  
 JOB NO: 20084.20  
 DATE: 09/05/23

WILLIAMS INVESTMENTS COMMERCIAL PARK  
 ARLINGTON BINDING SITE PLAN  
 16430 51ST AVE NE  
 ARLINGTON, WA 98223

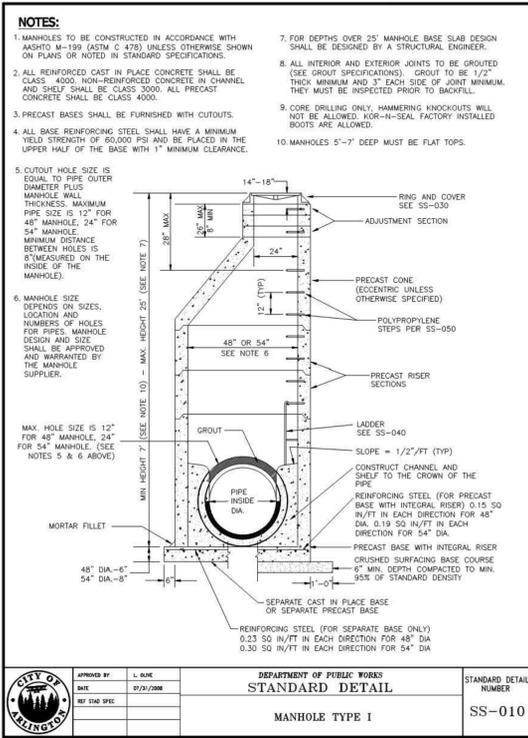
WATER DETAILS - BLOCK A

CITY OF ARLINGTON  
 CONSTRUCTION DRAWING REVIEW APPROVAL

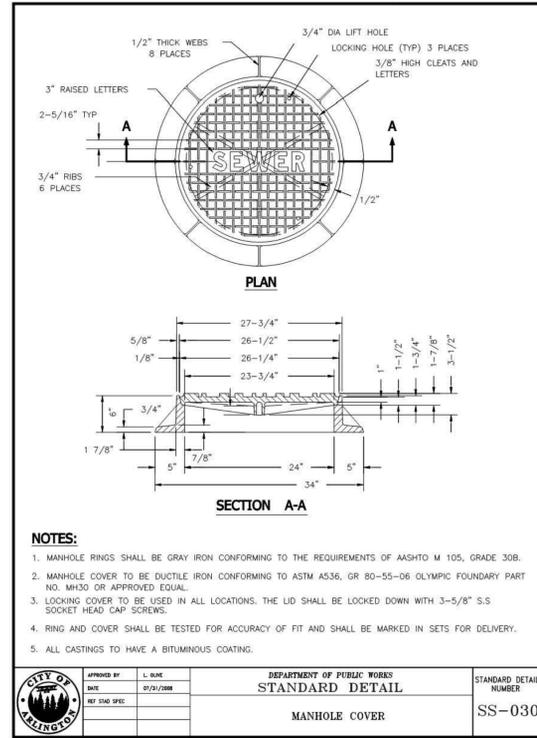
THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_ THIS APPROVAL IS VALID FOR 18 MONTHS

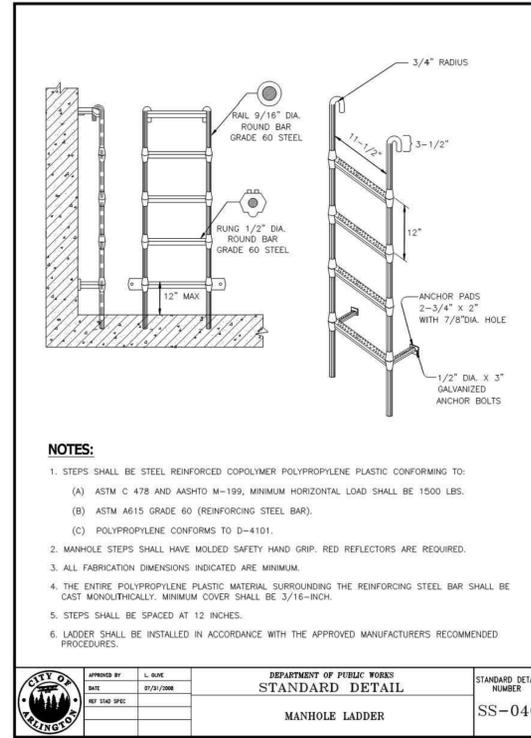
SHEET:  
**C4.5A**



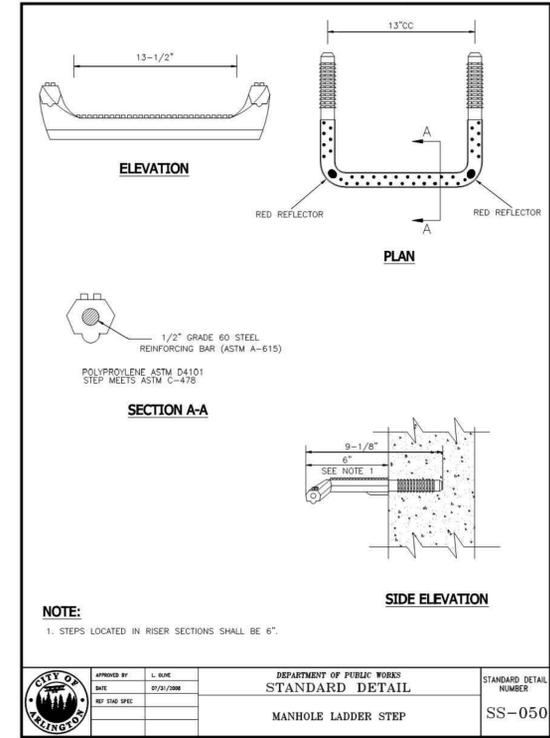
1 CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS



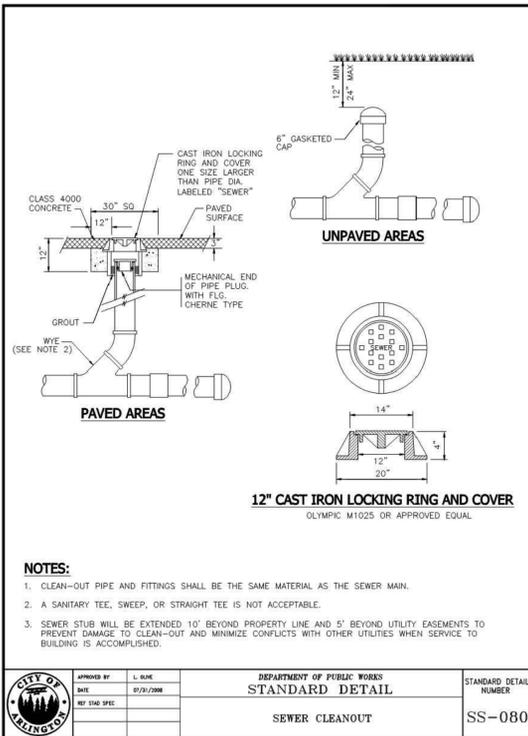
2 CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS



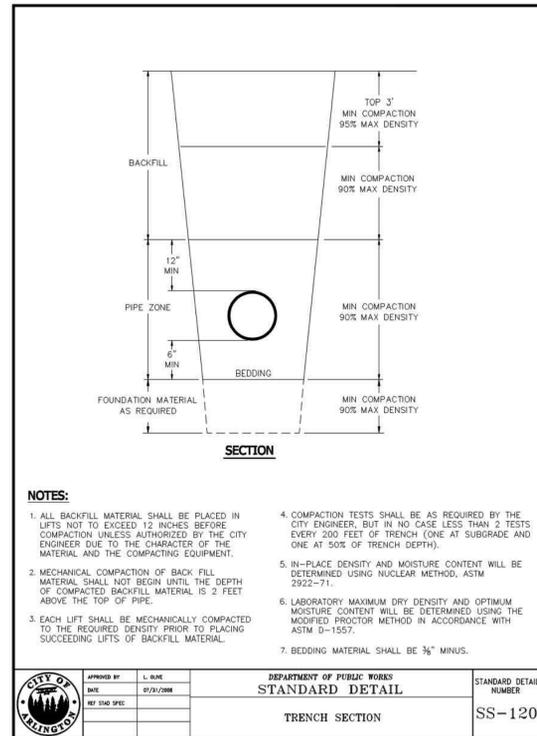
3 CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS



4 CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS



5 CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS



6 CITY OF ARLINGTON STANDARD DETAIL  
 SCALE: NTS

MARK	DATE	DESCRIPTION
	09/05/23	PERMIT SUBMITTAL

DESIGN:	NAT
DRAWN:	ATD
CHECK:	JPU
JOB NO:	20084.20
DATE:	09/05/23

WILLIAMS INVESTMENTS, COMMERCIAL PARK  
 ARLINGTON BINDING SITE PLAN  
 16430 51ST AVE NE  
 ARLINGTON, WA 98223

SEWER DETAILS - BLOCK A

CITY OF ARLINGTON  
**CONSTRUCTION DRAWING REVIEW APPROVAL**

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

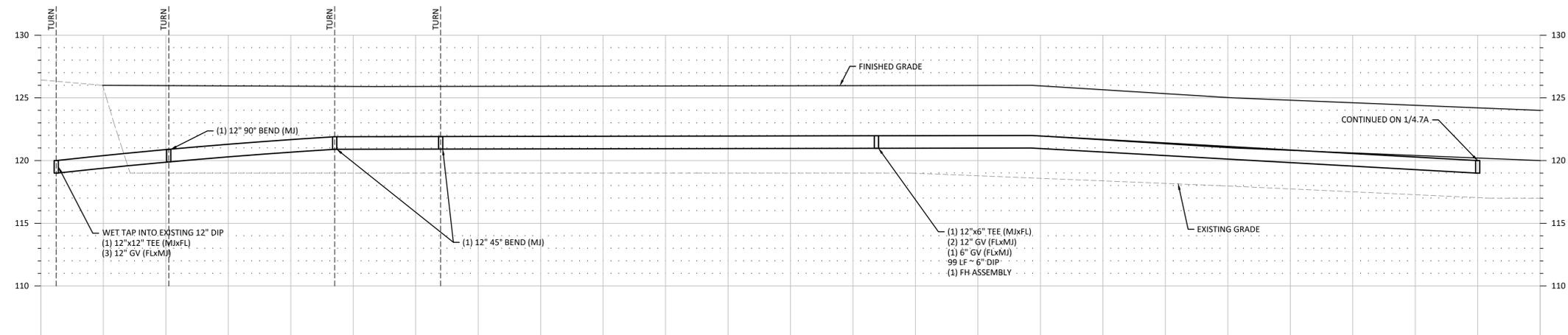
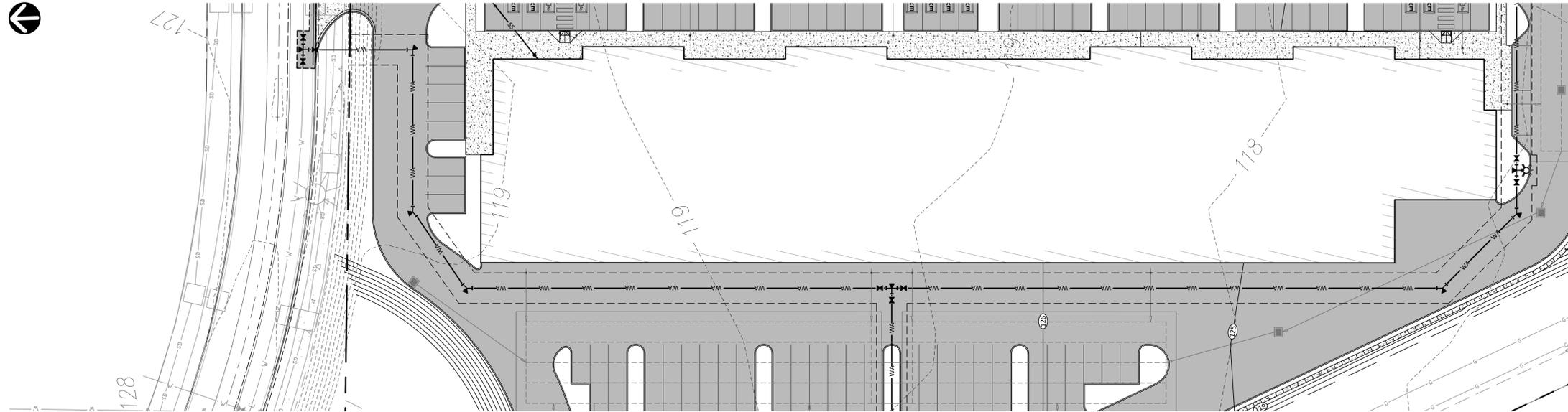
BY: \_\_\_\_\_

DATE: \_\_\_\_\_ THIS APPROVAL IS VALID FOR 18 MONTHS

SHEET: \_\_\_\_\_

**C4.6A**

A PORTION OF THE SW 1/4, NE 1/4 & NORTH 1/2 & SE 1/4, SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



**1** WATER PROFILE - BLOCK A  
SCALE: HORIZ: 1" = 30', VERT: 1" = 5'

**ENGINEERING**  
250 4TH AVE. S., SUITE 200  
EDMONDS, WASHINGTON 98020  
PHONE (425) 778-8500  
FAX (425) 778-5536



MARK	DATE	DESCRIPTION
	09/05/23	PERMIT SUBMITTAL

DESIGN:	NAT
DRAWN:	ATD
CHECK:	JPU
JOB NO:	20084.20
DATE:	09/05/23

WILLIAMS INVESTMENTS, COMMERCIAL PARK  
ARLINGTON BINDING SITE PLAN  
16430 51ST AVE NE  
ARLINGTON, WA 98223

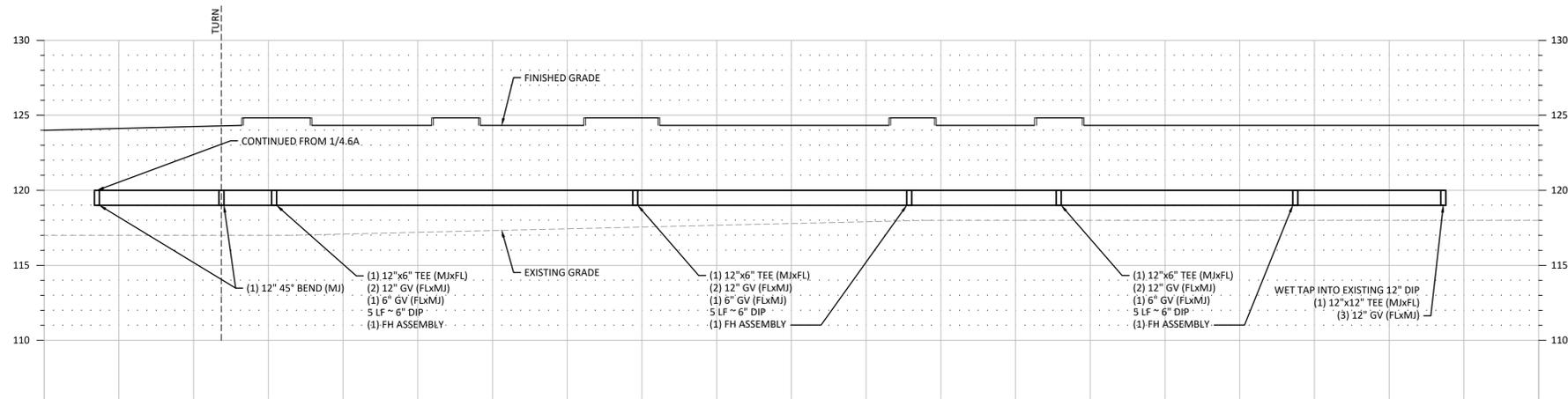
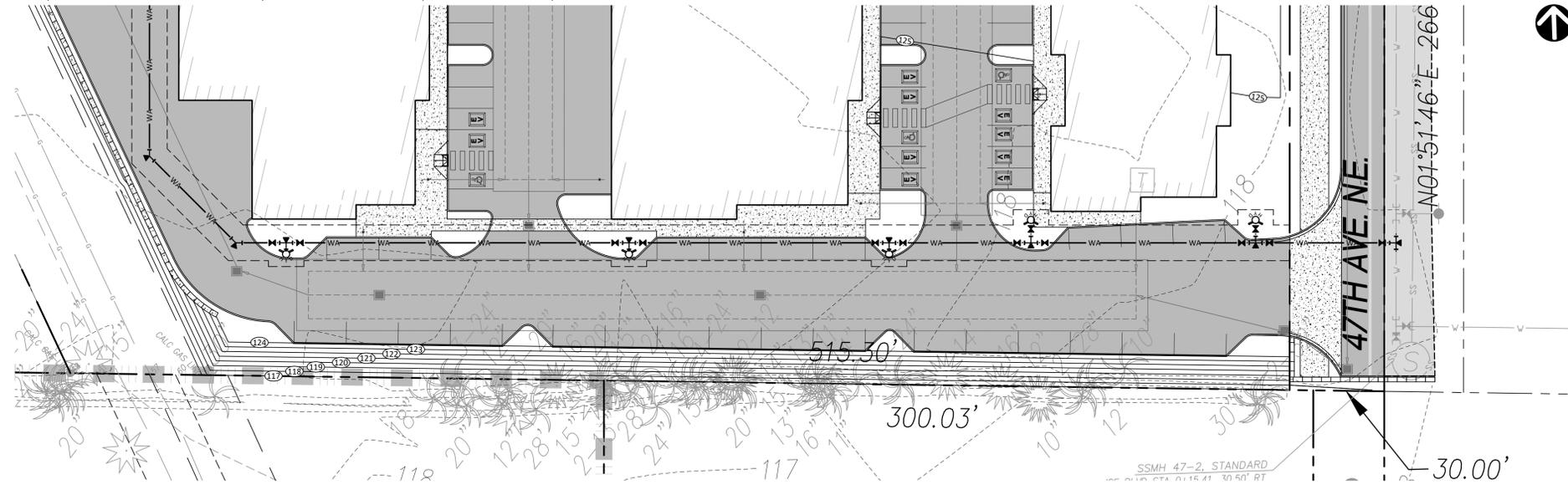
WATER PROFILE - BLOCK A  
FILE NAME

SHEET:

**C4.7A**

CITY OF ARLINGTON  
CONSTRUCTION DRAWING REVIEW APPROVAL  
THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE  
CONDITIONS ON THE TITLE SHEET.  
BY: \_\_\_\_\_  
DATE: \_\_\_\_\_ THIS APPROVAL IS VALID FOR 18 MONTHS

A PORTION OF THE SW 1/4, NE 1/4 & NORTH 1/2 & SE 1/4, SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



**1** WATER PROFILE - BLOCK A  
SCALE: HORIZ: 1" = 30', VERT: 1" = 5'

**ENGINEERING**  
250 4TH AVE. S., SUITE 200  
EDMONDS, WASHINGTON 98020  
PHONE (425) 778-8500  
FAX (425) 778-5536



MARK	DATE	DESCRIPTION
	09/05/23	PERMIT SUBMITTAL

DESIGN:	NAT
DRAWN:	ATD
CHECK:	JPU
JOB NO:	20084.20
DATE:	09/05/23

WILLIAMS INVESTMENTS, COMMERCIAL PARK  
ARLINGTON BINDING SITE PLAN  
16430 51ST AVE NE  
ARLINGTON, WA 98223

WATER PROFILE - BLOCK A

CITY OF ARLINGTON  
CONSTRUCTION DRAWING REVIEW APPROVAL

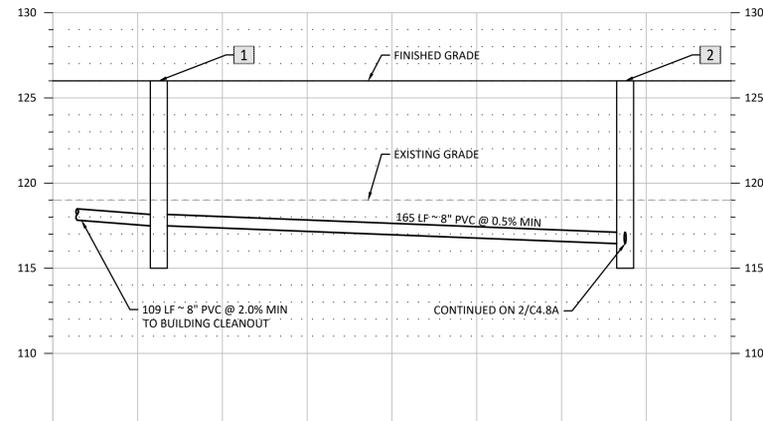
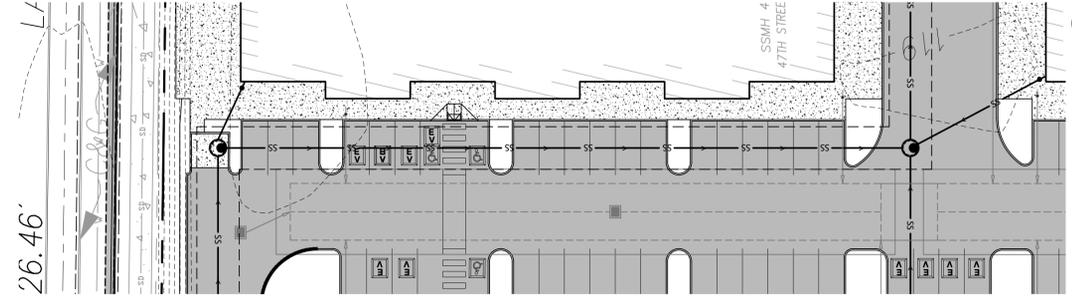
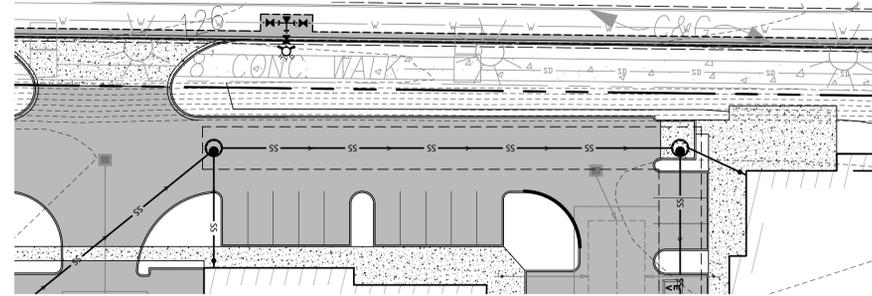
THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: \_\_\_\_\_

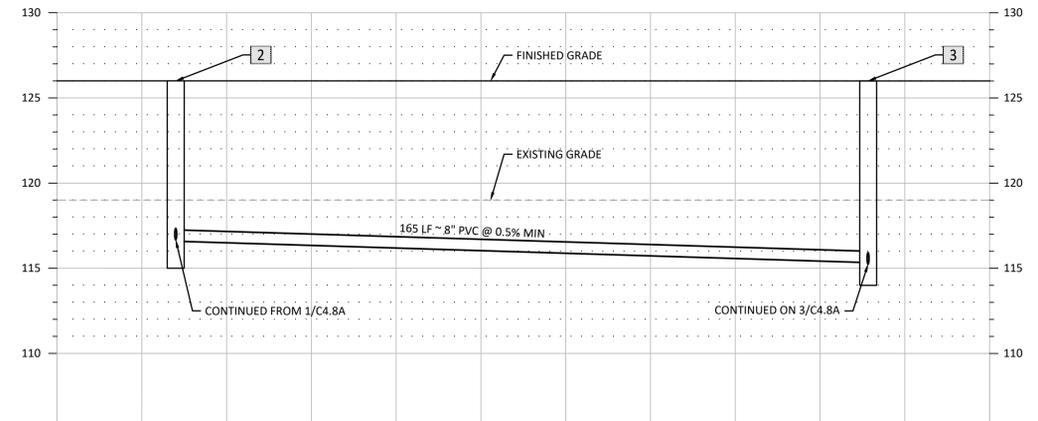
DATE: \_\_\_\_\_ THIS APPROVAL IS VALID FOR 18 MONTHS

SHEET:  
**C4.8A**

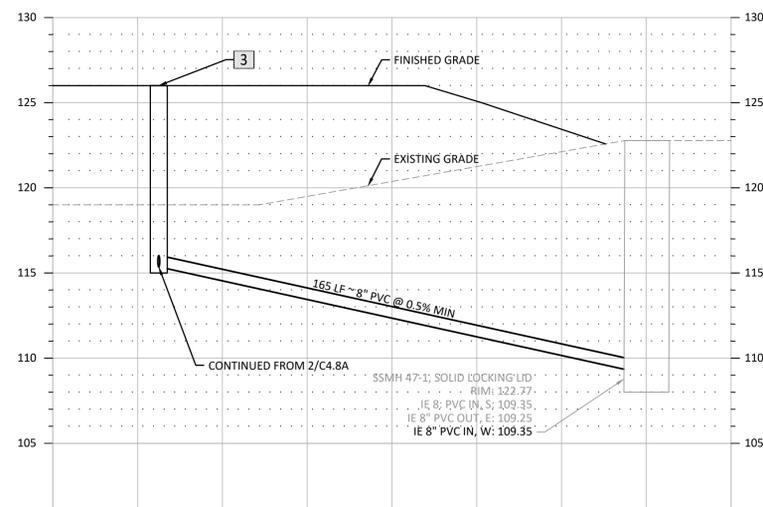
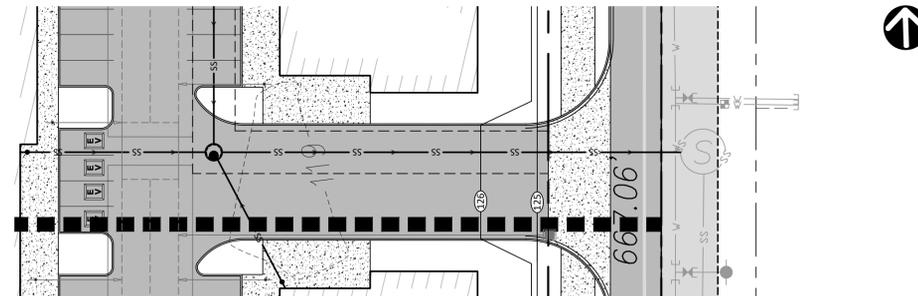
A PORTION OF THE SW 1/4, NE 1/4 & NORTH 1/2 & SE 1/4, SE 1/4, SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



**1** SEWER PROFILE - BLOCK A  
SCALE: HORIZ: 1" = 30', VERT: 1" = 5'



**2** SEWER PROFILE - BLOCK A  
SCALE: HORIZ: 1" = 30', VERT: 1" = 5'



**3** SEWER PROFILE - BLOCK A  
SCALE: HORIZ: 1" = 30', VERT: 1" = 5'

**ENGINEERING**  
250 4TH AVE. S., SUITE 200  
EDMONDS, WASHINGTON 98020  
PHONE (425) 778-8500  
FAX (425) 778-5536



MARK	DATE	DESCRIPTION
	09/05/23	PERMIT SUBMITTAL

DESIGN:	NAT
DRAWN:	ATD
CHECK:	JPU
JOB NO:	20084.20
DATE:	09/05/23

WILLIAMS INVESTMENTS COMMERCIAL PARK  
ARLINGTON BINDING SITE PLAN  
16430 51ST AVE NE  
ARLINGTON, WA 98223

SEWER PROFILES - BLOCK A

CITY OF ARLINGTON  
CONSTRUCTION DRAWING REVIEW APPROVAL

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: \_\_\_\_\_

DATE: \_\_\_\_\_ THIS APPROVAL IS VALID FOR 18 MONTHS

SHEET:  
**C4.9A**

A PORTION OF THE SW 1/4, NE 1/4 & NORTH 1/2 & SE 1/4, SE 1/4, SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



**SITE IMPROVEMENT PLAN NOTES:**

1. SEE C5.2A & C5.3A FOR 30 SCALE PLANS INCLUDING TREET IMPROVEMENTS, SIGHT TRIANGLES, ETC.
2. STANDARD STALL 9'x19' MINIMUM - 24' AISLE. PAVEMENT TO BE MARKED FOR STANDARD PER AMC 20.72.030.
3. COMPACT STALL 8'x15' MINIMUM - 24' AISLE. PAVEMENT TO BE MARKED FOR COMPACT PER AMC 20.72.040.
4. TRAFFIC CONTROL PLANS BY A TRAFFIC CONTROL SUBCONTRACTOR SHALL BE APPROVED BY CITY PRIOR TO RIGHT OF WAY WORK.
5. REFERENCE ARCH DRAWINGS FOR TYP DETAILS AT STRUCTURED RAMPS, TYP. SEE C3.2A THRU C3.3A FOR SPOT ELEVATIONS, CONTOURS, SLOPE ARROWS, ETC.

PAVING LEGEND	
	NEW ASPHALT/UTILITY SAWCUT
	OVERLAY EXISTING ASPHALT
	NEW CONCRETE

LINE TABLE		
NO.	BEARING	DISTANCE
L1	S 01°51'46"W	35.00
L2	S 87°26'12"E	628.84
L3	S 87°26'12"E	35.76
L4	S 87°26'12"E	542.22
L5	S 77°42'24"W	13.75
L6	S 88°16'55"E	118.79

1. WEST EDGE OF PIPE LINE ESMIT WAS CORRECTED TO MATCH C2 BEARING.  
2. BSSL LINE WAS CORRECTED TO MATCH WEST EDGE PIPE LINE ESMIT.

CURVE TABLE			
NO.	DELTA	CHORDS	LENGTH
C1	33°32'09"	509.79	508.59
C2	32°37'38"	510.22	290.55
C3	47°49'58"	110.00	91.83
C4	14°26'41"	110.00	27.73
C5	89°17'58"	12.00	18.70

**TRACT A**

WETLAND & BUFFER:  
412,585 SF (9.47 ACRES)  
NOTE: SEE MITIGATION PLAN FOR WORK PROPOSED IN WETLAND TRACT.

**WETLAND "F"**  
285,651 SF

**TITLE PARCEL "A"**

TPN 31052800100700  
16430 51ST AVE. N.E.  
844,071 SF (19.38 ACRES)

**BLOCK A**

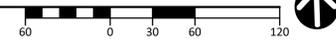
ARLINGTON  
MARYSVILLE

**TITLE PARCEL "A"**

TPN 31052800400100  
16204 51ST AVE. N.E.  
4,071,299 SF (93.46 ACRES)

**1 OVERALL SITE IMPROVEMENT PLAN - BLOCK A**

SCALE: 1" = 60'



CITY OF ARLINGTON  
CONSTRUCTION DRAWING REVIEW APPROVAL

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: \_\_\_\_\_

DATE: \_\_\_\_\_ THIS APPROVAL IS VALID FOR 18 MONTHS



MARK	DATE	DESCRIPTION
	09/05/23	PERMIT SUBMITTAL

DESIGN:	NAT
DRAWN:	ATD
CHECK:	JPU
JOB NO:	20084.20
DATE:	09/05/23

WILLIAMS INVESTMENTS COMMERCIAL PARK  
ARLINGTON BINDING SITE PLAN  
16430 51ST AVE NE  
ARLINGTON, WA 98223

OVERALL SITE IMPROVEMENT PLAN - BLOCK A

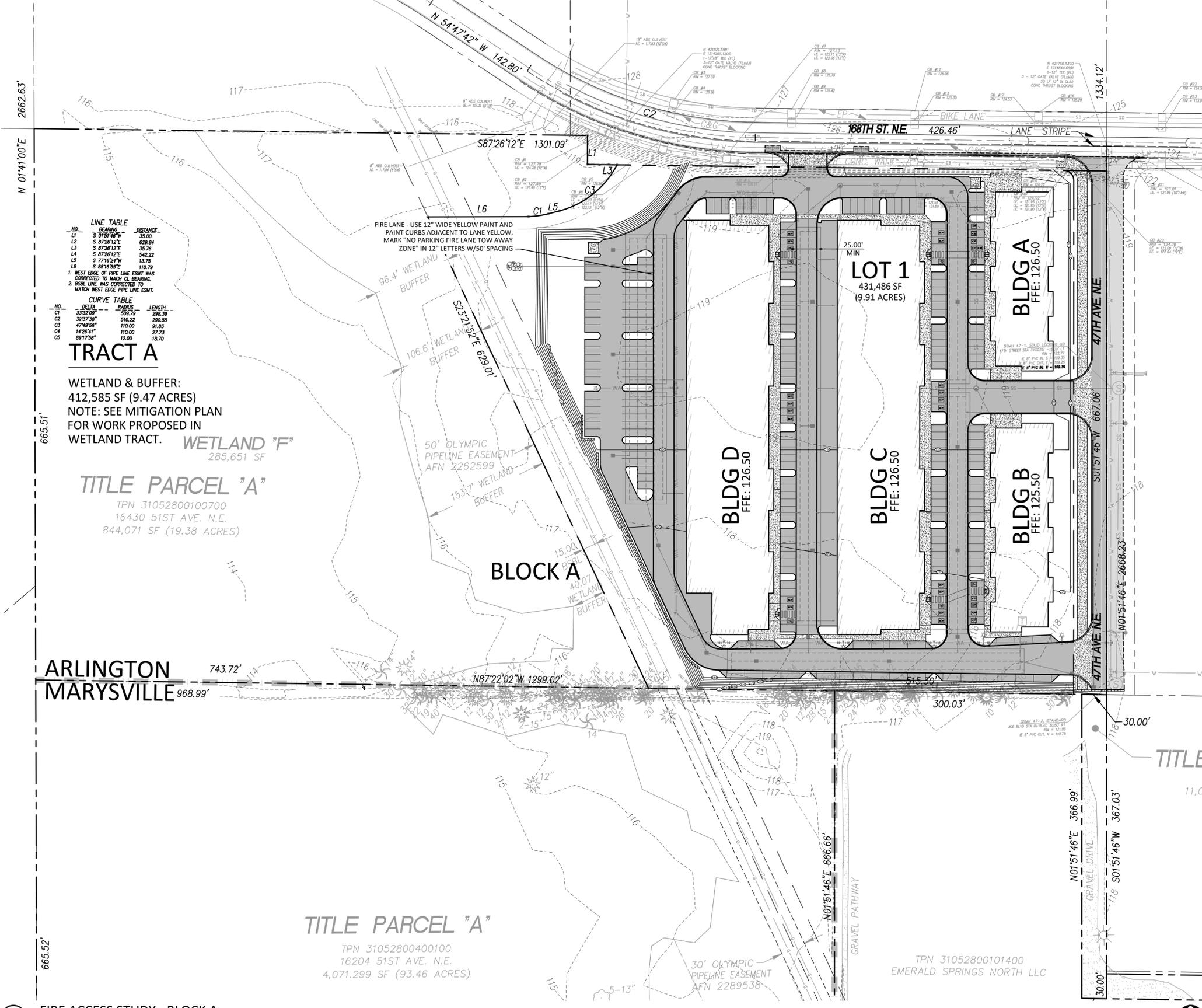
SHEET:  
**C5.1A**







A PORTION OF THE SW 1/4, NE 1/4 & NORTH 1/2 & SE 1/4, SE 1/4, SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



**LINE TABLE**

NO.	BEARING	DISTANCE
L1	S 01°51'46"W	35.00
L2	S 87°28'12"E	628.84
L3	S 87°28'12"E	35.76
L4	S 87°28'12"E	542.22
L5	S 77°42'24"W	13.75
L6	S 88°16'55"E	118.79

1. WEST EDGE OF PIPE LINE ESMT WAS CORRECTED TO MATCH C2 BEARING.  
2. BSSL LINE WAS CORRECTED TO MATCH WEST EDGE PIPE LINE ESMT.

**CURVE TABLE**

NO.	DELTA	CHORD	LENGTH
C1	33°32'09"	509.79	508.59
C2	32°37'38"	510.22	290.55
C3	47°49'58"	110.00	91.83
C4	14°28'41"	110.00	27.73
C5	89°17'58"	12.00	18.70

**TRACT A**

WETLAND & BUFFER:  
412,585 SF (9.47 ACRES)  
NOTE: SEE MITIGATION PLAN FOR WORK PROPOSED IN WETLAND TRACT. **WETLAND "F"**  
285,651 SF

**TITLE PARCEL "A"**  
TPN 31052800100700  
16430 51ST AVE. N.E.  
844,071 SF (19.38 ACRES)

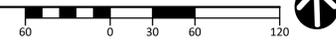
**BLOCK A**

**TITLE PARCEL "A"**  
TPN 31052800400100  
16204 51ST AVE. N.E.  
4,071,299 SF (93.46 ACRES)

TPN 31052800101400  
EMERALD SPRINGS NORTH LLC

**1 FIRE ACCESS STUDY - BLOCK A**

SCALE: 1" = 60'



CITY OF ARLINGTON  
CONSTRUCTION DRAWING REVIEW APPROVAL

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: \_\_\_\_\_

DATE: \_\_\_\_\_ THIS APPROVAL IS VALID FOR 18 MONTHS

MARK	DATE	DESCRIPTION
	09/05/23	PERMIT SUBMITTAL

DESIGN: NAT  
DRAWN: ATD  
CHECK: JPU  
JOB NO: 20084.20  
DATE: 09/05/23

WILLIAMS INVESTMENTS COMMERCIAL PARK  
ARLINGTON BINDING SITE PLAN  
16430 51ST AVE NE  
ARLINGTON, WA 98223

**FIRE ACCESS STUDY - BLOCK A**

SHEET:  
**C6.1A**